

CONSTRUCTION DOCUMENTS

EXPANSION AND RENOVATION

Warsaw Public Library

130 North Main Street  
Warsaw, New York

FOR

Town of Warsaw

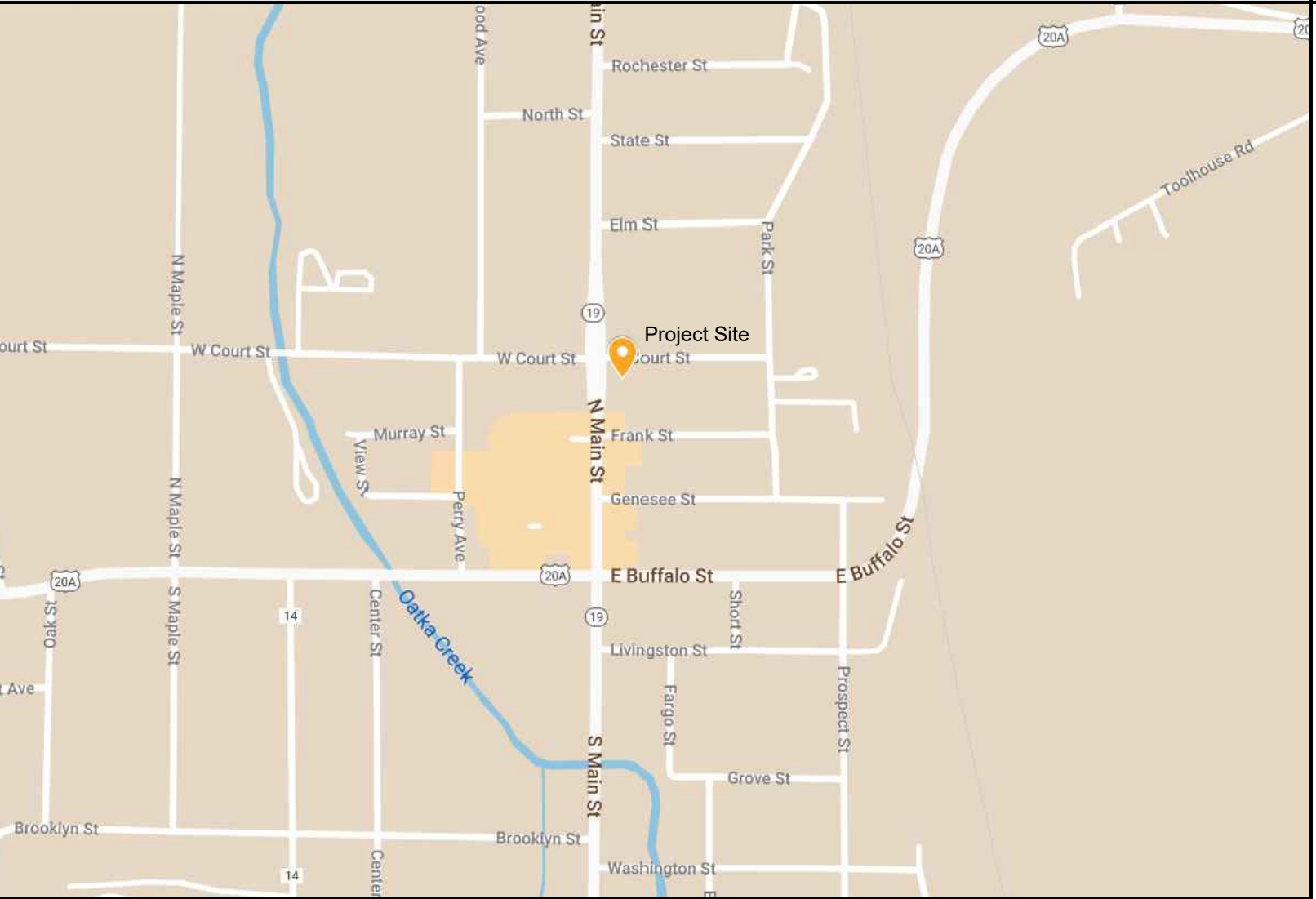
83 Center Street  
Warsaw, NY 14569

ABBREVIATIONS					MATERIALS KEY		SYMBOLS	
abv	Above	ft	Foot or Feet	psf	Pounds per Square Foot			Demolition Note
aff	Above Finish Floor	ftg	Footing	psi	Pounds per Square Inch			General Work Note
addl	Additional	fnd	Foundation	prz	Pressure Treated			Revision
adj	Adjust / Adjacent	frz	Freezer	prov	Provide			Room Identifier
a/c	Air Conditioning	furn	Furnace	qty	Quantity			Door Number
alt	Alternate	galv	Galvanized	qt	Quarry Tile			Window Type
al	Aluminum	ga	Gauge	rad	Radius			Wall Type
approx	Approximate	gli	Glass or Glazing	refr	Refrigerator			Spot Elevation
bsmt	Basement	gfi	Ground Fault Interrupter	reinf	Reinforce(d)/Reinforcing			Elevation
brg	Bearing	gpdw	Gypsum Drywall	rcp	Reinforced Concrete Pipe			Property Line
bm	Bench Mark	hcp	Handicap	rvt	Reinforced Vinyl Tile			Gridline
btwn	Between	hdw	Hardware	reqd	Required			Contour Lines
blkq	Blocking	hdr	Header	ra	Return Air			Building Elevation
bd	Both Ways	hgt	Height	rev	Revision / Revised			Interior Elevation
bdw	Bottom	htr	Heater	rd	Roof Drain			Detail Callout
brdg	Bridging	hvac	Heating / Ventilation / Air Conditioning	rm	Room			Area to be Drawn
bdg	Building	hm	Hollow Metal	ro	Rough Opening			
		horiz	Horizontal	rbr	Rubber			
		hb	Hose Bib	san	Sanitary			
cab	Cabinet	in	Inch	shlt	Sheathing			
cpt	Carpel	id	Inside Diameter	shr	Shower			
cmnt	Casement	insl	Insulation	sim	Similar			
cb	Catch Basin	int	Interior	spec	Specification			
clg	Ceiling	inv	Invert	sf	Square Foot			
clr	Center	isgl	Isolation Joint	std	Standard			
c/c	Center to Center	jt	Joint	stl	Stainless Steel			
cl	Ceramic Tile	jst	Joist	strl	Structural			
co	Clean Out	lev	Lavatory	susp	Suspended			
cls	Closet	lf	Linear Foot	tmpd	Tempered			
col	Column	lv	Laminated Veneer Lumber	thk	Thickness			
conc	Concrete	mfr	Manufacturer	t&g	Tongue and Groove			
cmu	Concrete Masonry Unit	mo	Masonry Opening	tol	Top Of Foundation			
csjl	Construction Joint	mat	Material	topl	Top Of Plate			
cont	Continuous	max	Maximum	tos	Top Of Steel			
cjl	Control Joint	mech	Mechanical	top	Top Of Wall			
cu	Copper	ml	Metal	trans	Transparent			
cmp	Corrugated Metal Pipe	min	Minimum	typ	Typical			
crs	Courses	misc	Miscellaneous	uon	Unless Otherwise Noted			
		nom	Nominal	vr	Vapor Retarder			
det	Detail	n/a	Not Applicable	vif	Verify In Field			
dia	Diameter	nic	Not In Contract	vert	Vertical			
dim	Dimension	nls	Not To Scale					
dw	Dishwasher	no. #	Number	wc	Water Closet			
dbl	Double			wp	Waterproof			
dh	Double Hung (Window)			wl	Weight			
dn	Down			wwf	Welded Wire Fabric			
ds	Downspout			w/	With			
dwg	Drawing			w/o	Without			
df	Drinking Fountain			wd	Wood			
ea	Each							
elec	Electrical							
elev	Elevation							
eq	Equal							
equip	Equipment							
exh	Exhaust							
exg	Existing							
exj	Expansion Joint							
ext	Exterior							
fof	Face Of Finish							
fom	Face Of Masonry							
fos	Face Of Studs							
fin	Finish(ed)							
fc	Finish Coat							
flr	Floor							
fd	Floor Drain							

PROJECT TEAM:

PROJECT	OWNER	ARCHITECT	STRUCTURAL ENGINEER	MECHANICAL ENGINEER
				
130 North Main Street, Warsaw, NY 14569 (585) 786-5650   www.warsawpubliclibrary.org	83 Center Street, Warsaw, NY 14569 (585) 786-2800   www.townofwarsawny.org	32 Winthrop Street, Rochester, NY 14607 (585) 262-2035   www.beroarchitecture.com	1653 E Main Street, Rochester, NY 14609 (585) 482-8130   www.jansenbrv.com	128 Hogen Road, Fairport, NY 14450 (585) 223-2462

PROJECT LOCATION:



ARCHITECT'S CERTIFICATION STATEMENT

"The Architect certifies that this project has been designed by me, or under my supervision, in accordance with the NYS Uniform Code and New York State Supplement, latest version, the International Energy Conservation Code with the New York State Supplement (latest version), and applicable federal, state and local laws, codes, and regulations, and to the best of my knowledge and belief, these documents are in conformance therewith."

Registered Architect 02688201 5/1/2025  
NYS Reg. No. Date

INDEX OF DRAWINGS:

T-10	Tile Sheet
CS-10	Code Study
A-01	Site and Staging Plan
C-1	Site Plan for Water Service Replacement
C-2	Detail Sheet
S-001	General Notes
S-101	Framing Plan
S-500	Structural Details
D-10	Main & Lower Level Demolition Plan
A-10	Lower Level Floor Plan & Reflected Ceiling Plan
A-11	Main Level Floor Plan & Reflected Ceiling Plan
A-40	Lower Level Interior Elevations
A-41	Main Level Interior Elevations
A-50	Enlarged Plans & Details
A-60	Schedules & Details
P-10	Plumbing
F-10	Fire Protection Sprinkler
M-01	Removals
M-11	Lower Level
M-12	Main Level
E-01	Removals
E-11	Lower Level
E-12	Main Level



STRUCTURAL ENGINEER:



1653 East Main Street  
Rochester, NY 14609

MEP / FP ENGINEER:



315 Rockingham Street  
Rochester, NY 14620

**WARNINGS:**  
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.  
FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE VIL PART 49.5(B) OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THIS DRAWING, IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY", AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.  
WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFOR. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

REVISIONS:

#	Date	Description

CLIENT / OWNER:



PROJECT INFORMATION:

Expansion and Renovation  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22121

ISSUE DATE: April 25, 2025

DRAWN BY: LMY / TTN

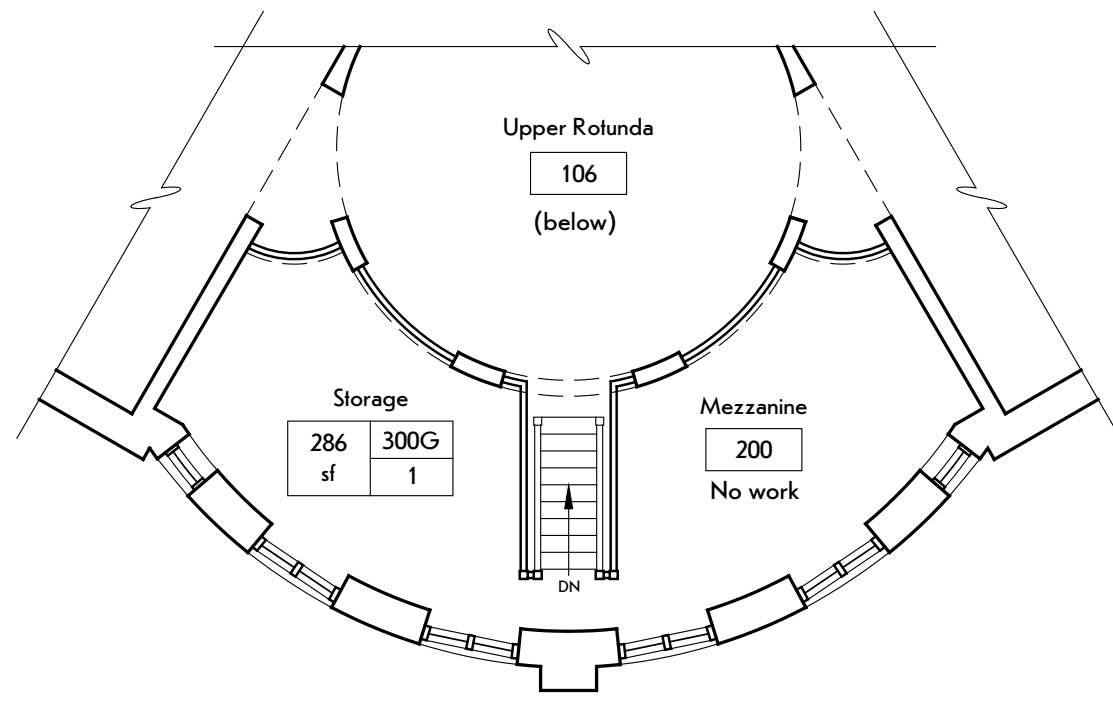
SHEET TITLE:

Title Sheet

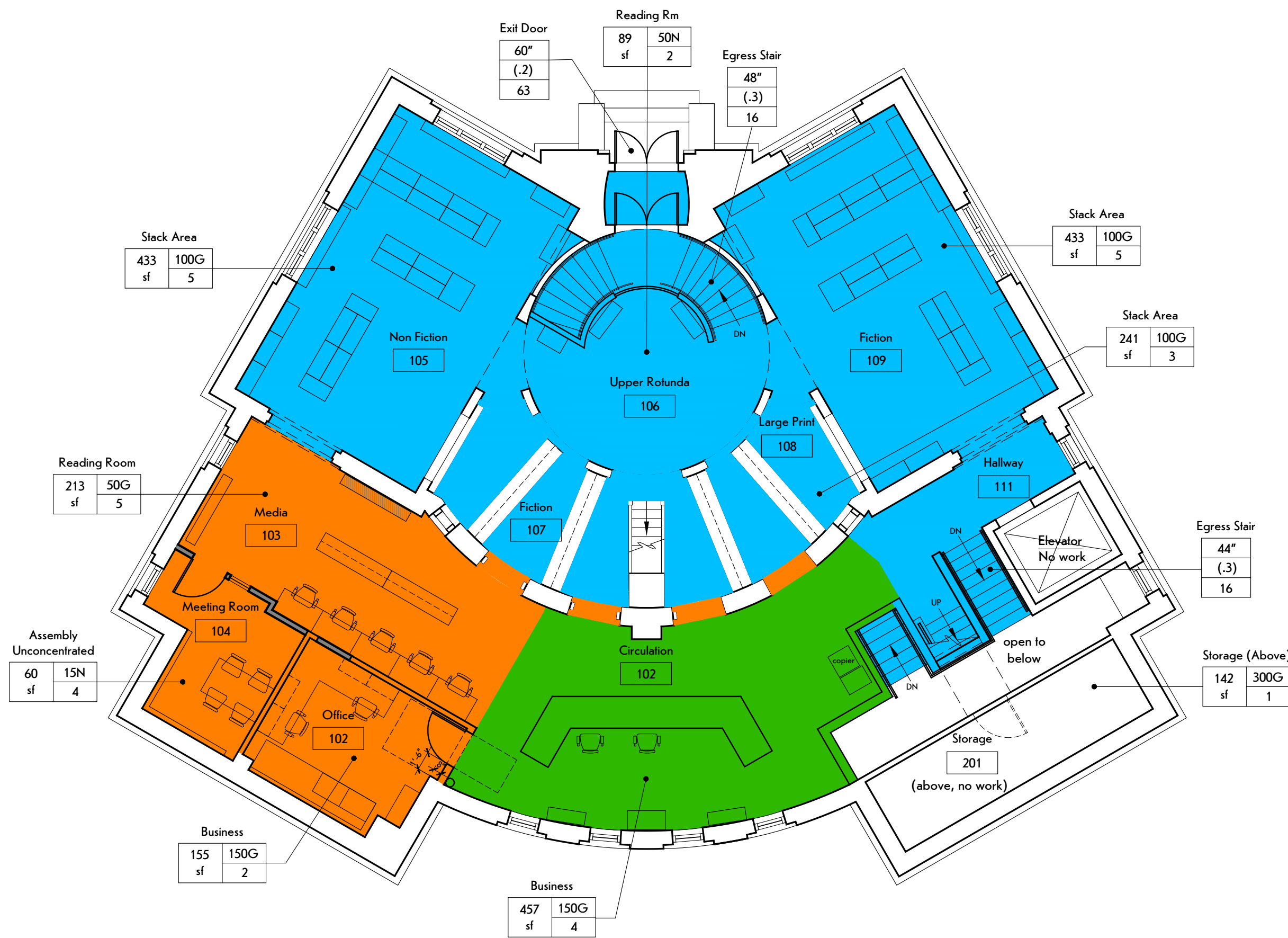
SHEET NUMBER:

T-10

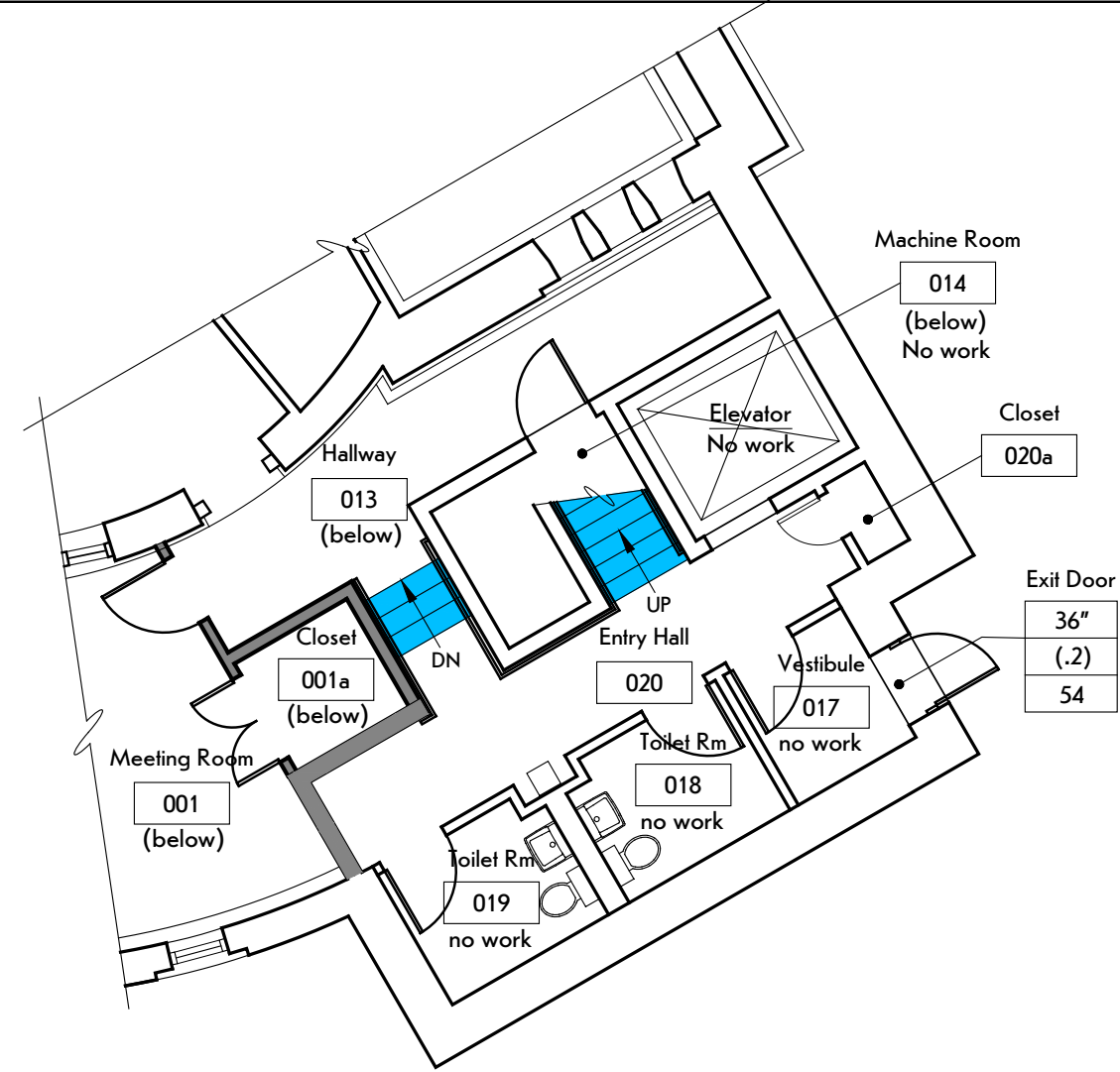




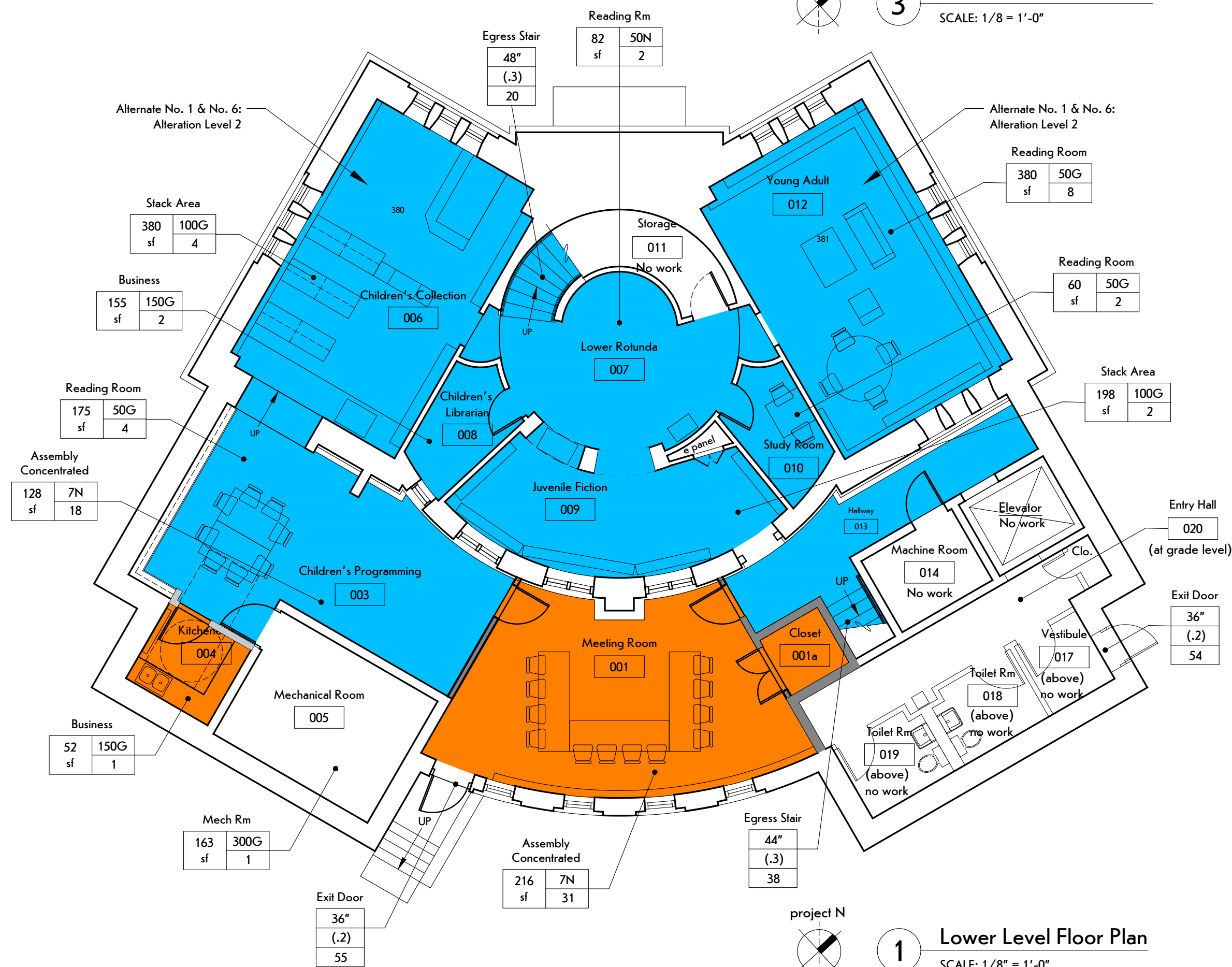
project N  
**4 Mezzanine**  
 SCALE: 1/8" = 1'-0"



project N  
**2 Main Level Floor Plan**  
 SCALE: 1/8" = 1'-0"



project N  
**3 Intermediate, Grade Level Floor Plan**  
 SCALE: 1/8" = 1'-0"



project N  
**1 Lower Level Floor Plan**  
 SCALE: 1/8" = 1'-0"

## BUILDING INFORMATION

### BUILDING DATA:

Building:	Warsaw Public Library 130 North Main Street Warsaw, NY 14569
Description:	1906, 1-story + lower level & mezzanine; Type II-B Ca. 1988-89 addition, 1-story + lower level; Type II-B construction  Proposed: Insertion of second story within the clerestory of the 1988-89 addition.
Exg Building Area: (net)	Lower Level - 2,684 sf Intermediate Level* - 297 sf Main Level - 2,254 sf Mezzanine** - 480 sf TOTAL 5,708 sf
Including Addition Area: (net)	Lower Level - 2,661 sf Intermediate Level* - 297 sf Main Level - 2,771 sf Mezzanine** - 480 sf TOTAL 6,209 sf
	*Includes entry level, vestibule, hallway, toilet rooms, and closet.  **Includes Mezzanine 200 and Storage 201

### PROJECT DESCRIPTION:

#### Work Area Compliance Method Key:

Alteration - Level 1	
Alteration - Level 2	
Addition	

Base Bid	
Alteration - Level 2	
Lower Level -	472 sf
Main Level -	634 sf
TOTAL (net)	1,106 sf

Addition	
Main Level -	498 sf
TOTAL (net)	498 sf

Work Area:	
TOTAL (net)	1,604 sf
(26% of Building Total)	

### PROJECT DESCRIPTION:

#### Work generally consists of the following:

Alteration - Level 1	* Lower Level Replacement of existing finishes and fixtures. * Main Level Replacement of existing finishes and fixtures.
Alteration - Level 2	* Lower Level Add partition walls to enclose space Meeting Room 001. Kitchenette 004: Reconfiguration of space. * Main Level Enclose existing space to create Media Room 103 and Meeting Room 104.
Addition	* Main Level Insert second floor framing within the existing building envelope.
Alternates No. 1 & No. 6:	Alteration - Level 2 * Lower Level Children's Collection 006 & Young Adult 012: Removal and replacement of existing floor to level with adjacent spaces.

### APPLICABLE CONSTRUCTION CODES:

2020 Existing Building Code of New York State	2020 Building Code of New York State
2020 Fire Protection Code of New York State	2020 Electrical Code of New York State
2020 Mechanical Code of New York State	2020 Plumbing Code of New York State
2016 New York State Uniform Code Supplement Accessible and Usable Buildings and Facilities ICC A117.1- 2009 Edition	
New construction will comply with requirements of the current Codes listed.	
Definition: Work area: "That portion or portions of a building consisting of all reconfigured spaces as indicated on the construction documents. Work area excludes other portions of the building where incidental work entailed by the intended work must be performed and portions of the building where work not initially intended by the owner is specifically required by this code."	

### CODE PLAN LEGEND

Stair Capacity Symbol	
Egress Stair	48" Stair Clear Width
(.3)	Load Factor, NS
160	Exit Capacity Occupants (calculated)
Door Capacity Symbol	
Exit Door	79" Exit Clear Width
(.2)	Load Factor, NS
395	Exit Capacity Occupants (calculated)
Occupant Load Symbol	
Residential (R-2) bedroom	Use Group Use
1024 200G	Load Factor (G - gross; N - net)
sf	Occupant Load
6	Area (sf)

### CODE DATA SUMMARY:

Building was constructed and subsequent alterations made in compliance with codes in existence at that time.	
Use Group: Construction: Exg 1906, building Type III-B Exg 1988-89 Addition Type II-B	
Fire Safety: Fire Alarm System (per NFPA 72). Code Compliant Emergency and Exit Lighting. Carbon monoxide detection. Extension of Automatic Sprinkler System at the addition Work Area.	
[B] Table 504.4 Allowable # of stories above grade plane:  Exg building + Addition A-3 NS Type II-B Two (Proposed addition = infill of existing second story)	
[B] Table 506.2 Allowable area factor in square feet:  Exg building + Addition A-3 NS Type II-B 9,500sf	
Occupant Load: (calculated)	Location Occupants Lower Level 75 First Floor 30 Mezzanine/Storage 2 TOTAL 107

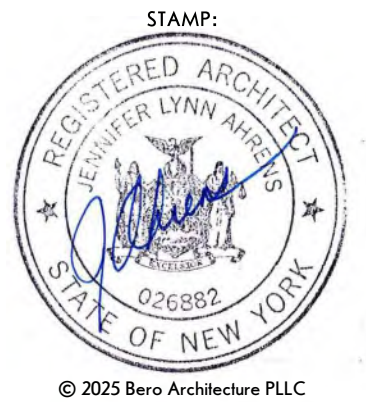
[F] Section 903.2.1.3 Group A-3 (Existing Building Code of NYS) An automatic sprinkler system shall be provided throughout stories containing Group A-3 occupancies and throughout all stories from the Group A-3 occupancy to and including the levels of exit discharge serving that occupancy where one of the following conditions exists: 1. The fire area exceeds 12,000 square feet (1115 m2 /). 2. The fire area has an occupant load of 300 or more. 3. The fire area is located on a floor other than a level of exit discharge serving such occupancies. (The Addition and Main Level will be covered by the automatic sprinkler system)	
[B] Table 1006.3.2 Egress Occ Load:	Occupant Load per story 1-500 Min req'd # of exits 2
[B] Table 1017.2 Exit Access Travel Distance:	Permitted: A NS 200'

## CODE STUDY REVIEW



**bero**  
 ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
 (585) 262-2035 | www.beroarchitecture.com



© 2025 Bero Architecture PLLC

STRUCTURAL ENGINEER:



1653 East Main Street  
 Rochester, NY 14609

MEP/FP ENGINEER:



315 Rockingham Street  
 Rochester, NY 14620

**WARNINGS:**  
 DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.  
 FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE 16, PART 69.5(B) OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THE DRAWING, IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY", AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.  
 WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFOR. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

#	Date	Description

CLIENT / OWNER:



Town of Warsaw  
 83 Center Street  
 Warsaw, NY 14569

**PROJECT INFORMATION:**  
 Expansion and Renovation  
 Warsaw Public Library  
 130 North Main Street, Warsaw, New York

**PROJECT NUMBER:** 22121

**ISSUE DATE:** April 25, 2025

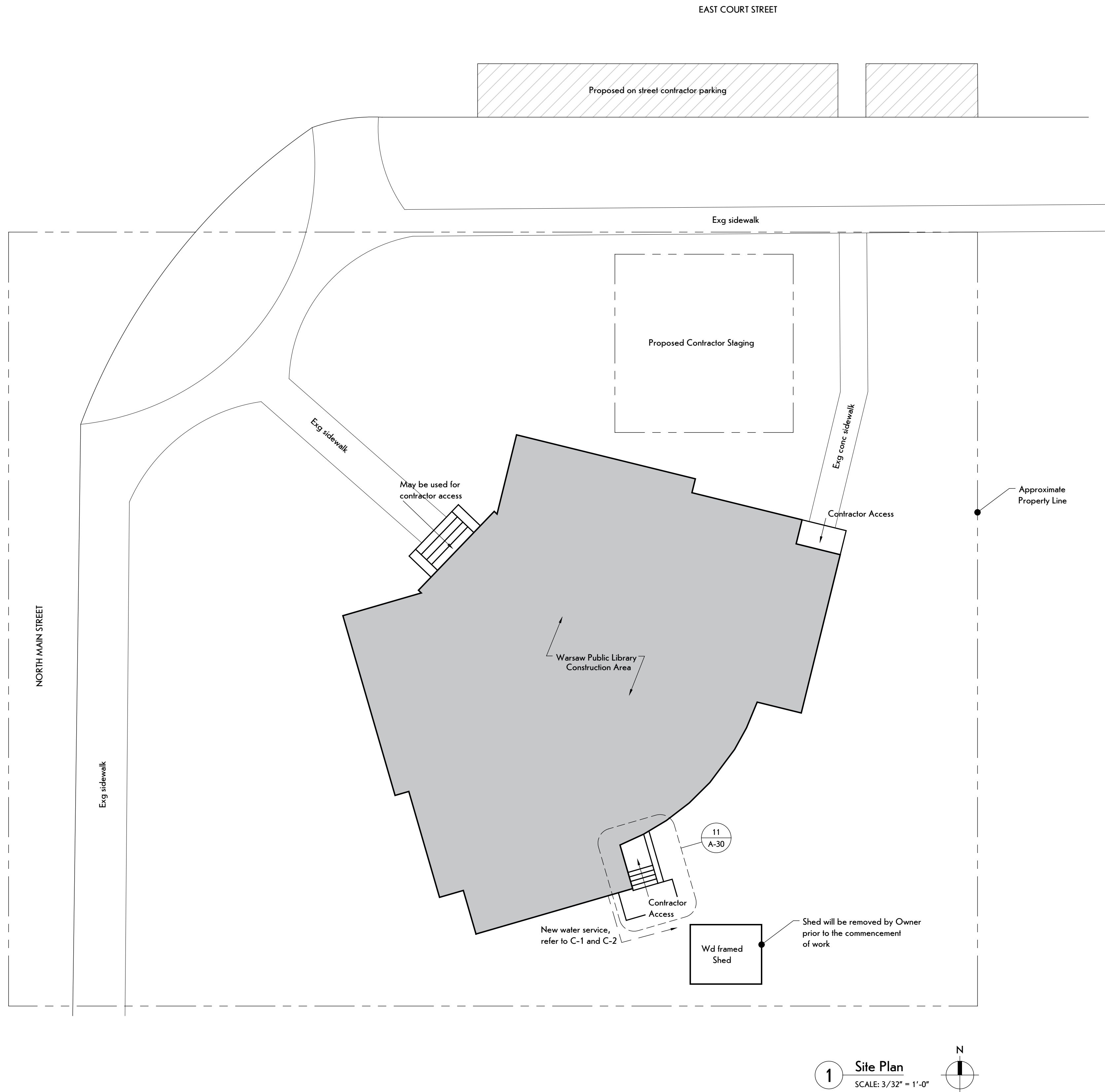
**DRAWN BY:** LMY / TTN

**SHEET TITLE:**  
 Code Study

**SHEET NUMBER:**

**CS-10**





General Site Plan Notes:

1. Refer to drawings C-1 and C-2 for detailed site and water service information.
2. Protect persons, motor vehicles, surrounding surfaces of building, building site, plants, and surrounding buildings from harm resulting from alteration work.
3. Location of staging, storage, unloading, and contractor parking areas shall be reviewed, coordinated, and approved by Owner prior to commencement of work.
4. Protect site improvements from damage. Restore damaged work to condition existing before start of site clearing. Protect trees and shrubs from damage and maintain vegetation.
5. Restore site to existing conditions at completion of project. Restore damaged improvements, if necessary, as acceptable to Owner.
6. Determine location of existing utility services trenching. Comply with local utility service requirements. Contractor is responsible for verifying location of utilities at job site. Maintain existing utilities in service and protect them against damage during selective demolition operations.



**bero**  
ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | www.beroarchitecture.com



STRUCTURAL ENGINEER:

**Jensen BRV**  
ENGINEERING, PLLC

1653 East Main Street  
Rochester, NY 14609

MEP / FP ENGINEER:

**CWE**  
CW Engineering

315 Rockingham Street  
Rochester, NY 14620

WARNINGS:

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.

FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE VSL PART 69.5(8) OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THIS DRAWING, IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY", AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.

WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFOR. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

REVISIONS:

#	Date	Description

CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

PROJECT INFORMATION:

Expansion and Renovation  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22121

ISSUE DATE: April 25, 2025

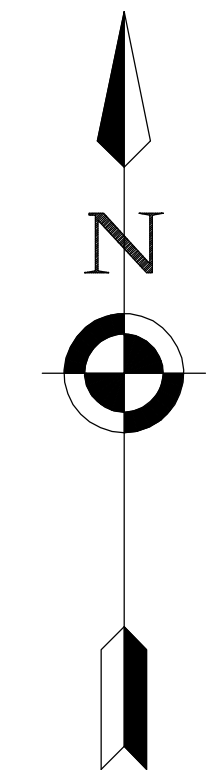
DRAWN BY: LMY / TTN

SHEET TITLE:

Site & Staging Plan

SHEET NUMBER:

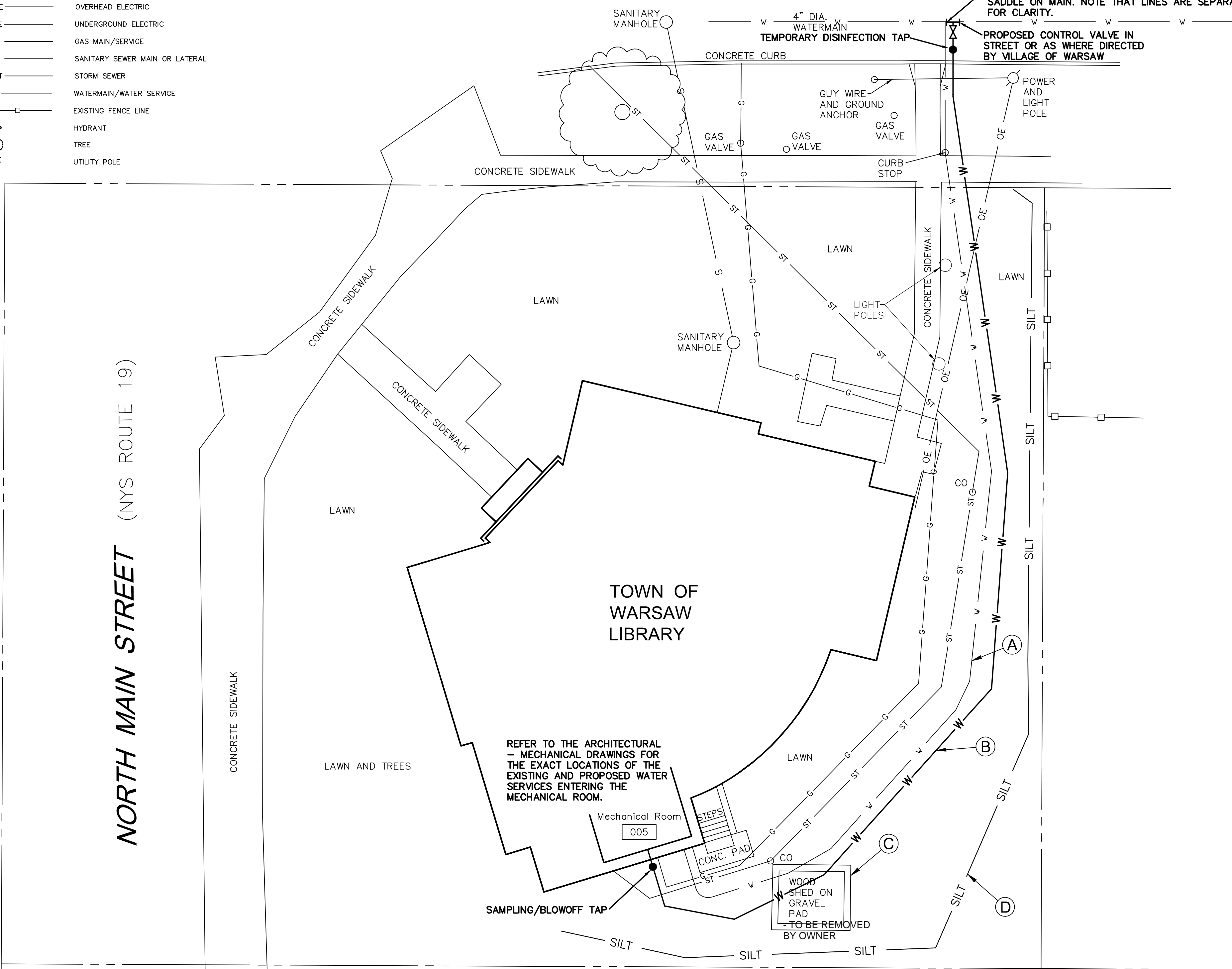
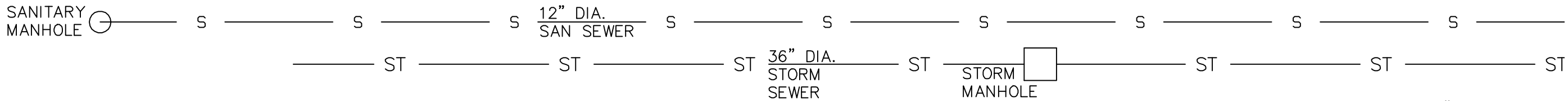
**A-01**



EAST COURT STREET

LEGEND OF LINETYPES SHOWN

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- GAS MAIN/SERVICE
- SANITARY SEWER MAIN OR LATERAL
- STORM SEWER
- WATERMAIN/WATER SERVICE
- EXISTING FENCE LINE
- HYDRANT
- TREE
- UTILITY POLE



SITE DATA / GENERAL NOTES

- PROPERTY LINES SHOWN ARE TAKEN FROM SEAR-BROWN DRAWING PREPARED FOR THE 1988 LIBRARY ADDITION AND DO NOT SHOW ROW TAKINGS FROM NYSDOT FOR MAIN STREET.
- ALL DISTANCES AND ELEVATIONS ARE MEASURED IN DECIMAL FEET.
- ORIENTATION OF DRAWING IS STATE PLANE CENTRAL 1983 WITH MAP BEARINGS SHOWN.
- UTILITIES ARE SHOWN BASED ON SURFACE FEATURES FIELD SURVEYED IN ADDITION TO RECORD INFORMATION OBTAINED FROM THE REFERENCED SEAR BROWN DRAWING AND WATER SYSTEM RECORD INFORMATION PROVIDED BY THE WATER SUPPLIER.

LEGEND OF EXISTING FEATURES AND PROPOSED WORK ITEMS

(A) EXISTING 2" WATER SERVICE TO BUILDING. NOTE THAT EXACT ROUTE OF THE EXISTING 2" SERVICE FROM THE CURB STOP IS ESTIMATED FROM RECORD DRAWINGS AND SURFACE OBSERVATIONS. CONTRACTOR TO VERIFY EXACT UTILITY LOCATIONS IN FIELD (VIF) AS REQUIRED. NOTE THAT THIS EXISTING WATER SERVICE IS TO BE ABANDONED UPON ACTIVATION OF THE PROPOSED 4" SERVICE AFTER SUCCESSFUL COMPLETION OF PRESSURE TESTING AND DISINFECTION.

THIS WORK IS TO BE PERFORMED BY THE CONTRACTOR PER THE VILLAGE OF WARSAW'S WATER SPECIFICATIONS.

(B) PROPOSED 175 (±) LF OF 4" DIA. DIP WATER SERVICE TO BUILDING FROM 4X4 TEE CONNECTION AT MAIN. THE CONTRACTOR SHALL RESTORE THE EXCAVATION AREA, ROAD BASE, ROAD TOP, CONCRETE CURB, SIDEWALK AND TREELAWN AREA ALL PER VILLAGE OF WARSAW'S SPECIFICATIONS.

THE CONTRACTOR IS TO COORDINATE ALL THIS WORK INCLUDING THE TEMPORARY SHUTDOWN OF THE 4" WATERMAIN WITH THE VILLAGE OF WARSAW'S WATER DEPARTMENT.

(C) ~~EXISTING 2" WATER SERVICE~~ GRAVEL, AND SURPLUS SOIL FROM TRENCHING OF WATER SERVICE SHALL BE REMOVED AND TRANSPORTED BY THE CONTRACTOR TO A LANDFILL LICENSED TO ACCEPT SUCH WASTES.

(D) TEMPORARY SILT FENCE BARRIER, TOPSOIL AND SEED DISTURBED LAWN AREAS AFTER ACHIEVING FINAL GRADES.

ADDENDA 2, ATTACHMENT 2

SITE PLAN FOR WATER SERVICE REPLACEMENT

TOWN OF WARSAW LIBRARY – 130 NORTH MAIN STREET

VILLAGE OF WARSAW, WYOMING COUNTY, NEW YORK STATE

PROFESSIONAL  
ENGINEERING GROUP

7171 VICTOR – PITTSFORD ROAD  
VICTOR, NEW YORK 14564

TEL: (585) 924-1860 EMAIL: PROENGINEER1@PRODIGY.NET

CLIENTS:  
BERO ARCHITECTS  
32 WINTHROP STREET  
ROCHESTER, NY 14607

TAX ACCOUNT NO.  
85.8-1-20

DATE:  
MARCH 2025

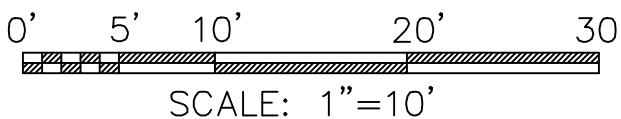
ENGINEER:  
S.A.H

DRAWN BY:  
S.A.H

SCALE:  
1" = 10'

SHEET NO.:  
1 OF 2

DRAWING NO.:  
250308SP1



EXISTING BRICK BUILDING EXTENDS ENTIRE LENGTH OF PROPERTY LINE AND IS APPROXIMATELY 1 FOOT SOUTH OF PROPERTY LINE.

REFER TO THE ARCHITECTURAL – MECHANICAL DRAWINGS FOR THE EXACT LOCATIONS OF THE EXISTING AND PROPOSED WATER SERVICES ENTERING THE MECHANICAL ROOM.

Mechanical Room  
005

STEPS

CONC. PAD

CO

WOOD SHED ON GRAVEL PAD TO BE REMOVED BY OWNER

SAMPLING/BLOWOFF TAP

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT

SILT







## GENERAL CONDITIONS

- 1.) THE INFORMATION SHOWN ON THESE DOCUMENTS IS THE BEST REPRESENTATION OF EXISTING CONDITIONS AVAILABLE TO THE ENGINEER. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THOSE FEATURES WHICH WILL AFFECT THE BID PRICE AND MAKE ALLOWANCES FOR THEM IN THEIR BID.
- 2.) EXISTING CONDITIONS: VERIFY DIMENSIONS, ELEVATIONS, AND MEMBER SIZES AS SHOWN ON THESE DRAWINGS AND NOTIFY THE A/E OF DISCREPANCIES PRIOR TO COMMENCING WORK.
- 3.) DIMENSIONS, ELEVATIONS, AND MEMBER SIZES SHOWN ARE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL ACCURATELY DETERMINE DIMENSIONS, ELEVATIONS, AND MEMBER SIZES OF EXISTING CONSTRUCTION.
- 4.) EXISTING CONSTRUCTION ADJACENT TO NEW WORK SHALL BE ADEQUATELY SUPPORTED DURING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR NEW OR EXISTING CONSTRUCTION DAMAGED WHILE WORK IS IN PROGRESS.
- 5.) THE DRAWINGS REPRESENT THE FINISHED STRUCTURE AS A COMPLETE UNIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, AND SEQUENCES OF DEMOLITION AND CONSTRUCTION PHASES INCLUDING TEMPORARY SHORING AND BRACING. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND STANDARDS THAT PERTAIN TO MEANS, METHODS, AND SEQUENCES OF CONSTRUCTION.
- 6.) CONTRACT DRAWINGS AND SPECIFICATIONS: COORDINATE STRUCTURAL DRAWINGS WITH ALL OTHER DRAWINGS AND SPECIFICATIONS. INCORPORATE COORDINATION REQUIREMENTS INTO CONTRACTOR'S WORK.
- 7.) DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO THOSE SHOWN FOR THE MOST NEARLY SIMILAR CONDITION AS DETERMINED BY THE ARCHITECT OR ENGINEER.
- 8.) WHERE DEMOLITION OR OTHER MODIFICATIONS TO THE EXISTING STRUCTURE ARE REQUIRED: THE CUTTING, DRILLING, AND REMOVAL SHALL OCCUR IN A MANNER WHICH WILL PREVENT DAMAGE TO ADJOINING CONSTRUCTION TO REMAIN. UNLESS OTHERWISE INDICATED, PROVIDE NEW MATERIALS TO MATCH THE APPEARANCE AND PERFORMANCE OF EXISTING CORRESPONDING MATERIALS WHERE DEMOLITION OCCURS.
- 9.) SHOP DRAWINGS PREPARED BY SUPPLIERS AND SUBCONTRACTORS SHALL BE REVIEWED AND SIGNED AND STAMPED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE ARCHITECT AND ENGINEER. REPRODUCTIONS OF THE STRUCTURAL DRAWINGS SHALL NOT BE USED FOR THE PREPARATION OF SHOP DRAWINGS. MANUFACTURED COMPONENTS SHALL BE SIGNED AND STAMPED BY A LICENSED PROFESSIONAL ENGINEER PRIOR TO SUBMISSION.

## STRUCTURAL LOADS AND CRITERIA

1. DESIGN AND CONSTRUCTION: NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE (UNIFORM CODE) ACCORDING TO THE 2020 BUILDING CODE OF NEW YORK STATE (BCNYS).
- A. RISK CATEGORY II
2. LIVE LOADS:  
NEW ELEVATED FLOORS = 150 PSF (STACK ROOM)
3. DEAD LOADS:  
WEIGHT OF CONSTRUCTION MATERIALS PLUS FLOOR = 8PSF COLLATERAL (MEP)
4. DESIGN GUARDRAILS AND HANDRAILS AND INCORPORATE INTO STEEL SHOP DRAWINGS AS FOLLOWS: (LIVE LOADS SHOWN ARE IN ADDITION TO DEAD LOAD)
- A. HANDRAIL ASSEMBLIES: LOAD PRODUCING GREATEST STRESS OF 200 LB OR 50 PLF, APPLIED IN ANY DIRECTION AT ANY POINT ON THE ASSEMBLY.
- B. MEET BCNYS REQUIREMENTS FOR DETAILS AND DIMENSIONS NOT SPECIFICALLY INDICATED.
- C. COORDINATE FINAL DESIGN WITH ARCHITECTURAL DRAWINGS AND PROJECT SPECIFICATIONS.
- D. MEMBER SIZES SHOWN ON DRAWINGS ARE MINIMUM.
- E. FRAMING DETAILS SHOWN ARE SCHEMATIC. CONTRACTOR TO PROVIDE ADEQUATE SUPPLEMENTAL FRAMING AS NEEDED TO SUPPORT STAIR AND RAILING COMPONENTS.

## MASONRY NOTES

- 1.) CONCRETE MASONRY DESIGN AND CONSTRUCTION SHALL CONFORM TO ACI 530 AND 530.1.
- 2.) CONCRETE MASONRY UNITS: ASTM C-90. UNIT COMPRESSIVE STRENGTH = 2800 PSI.
- 3.) CMU MORTAR: ASTM C270 TYPE M OR S.
- 4.) HORIZONTAL JOINT REINFORCING: ASTM A82, 9 GA, GALVANIZED LADDER-TYPE,16" O/C UNO.
- 5.) BLOCK CORE GROUT FILL: ASTM C476, 3,000 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH. PLACE IN LIFTS NOT EXCEEDING 7 COURSES IN HEIGHT UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- 6.) PROVIDE FULL HEAD AND BED JOINTS.
- 7.) MASONRY WALLS, PARTITIONS, AND OPENINGS: COORDINATE WITH ARCHITECTURAL DRAWINGS.
- 8.) LAP SPLICES IN VERTICAL REINFORCING: 48 BAR DIAMETERS MINIMUM, UNO.
- 9.) STRUCTURAL STEEL LINTELS: 8" MINIMUM BEARING AT EACH END, HOT DIP GALVANIZE EXTERIOR WALL LINTELS.
- 10.) MASONRY COURSING INDICATED ON THE STRUCTURAL DRAWINGS IS APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR ACTUAL COURSING LAYOUT. CUT UNITS AS REQUIRED TO ACHIEVE ELEVATIONS, BEARING ELEVATIONS, AND OPENINGS INDICATED.
- 11.) SECURE REINFORCING STEEL IN PLACE PRIOR TO PLACING GROUT. DO NOT WET-SET REINFORCING.
- 12.) ADHESIVE ANCHORS: LOCATE AWAY FROM REBAR.
- a. GROUTED CMU = HILTI HY200 OR POWERS AC100+ OR SIMPSON SET
- b. HOLLOW CMU = HILTI HY70 OR POWERS AC100+ OR SIMPSON ACRYLIC-TIE
- 13.) SHOP DRAWINGS: SUBMIT FOR REINFORCING STEEL, GROUT AND MORTAR MIX DESIGNS, AND CMU PRODUCT DATA TO THE ARCHITECT FOR REVIEW BEFORE CONSTRUCTION.

## STEEL NOTES

1. STRUCTURAL STEEL SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) AISC 360 - SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS AND AISC 303 - CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
2. STRUCTURAL STEEL GRADES (UNLESS NOTED OTHERWISE):
- A. W-SECTIONS: ASTM A572 (ASTM A992), Fy = 50KSI
- B. ANGLES, PLATES & CHANNELS: ASTM A36, Fy = 36ksi
- C. HOLLOW STRUCTURAL SECTIONS (HSS): ASTM A500 GRADE B/C
- D. BOLTS: ASTM A325N
- E. SHEAR CONNECTORS: ASTM A108
- F. WELDS: E70xx
3. WELDING: AWS D1.1. ALL-AROUND FILLET WELDS FOR STEEL CONNECTIONS NOT INDICATED.
4. STRUCTURAL STEEL FINISH: AS INDICATED BELOW. COORDINATE WITH THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. APPLY COATINGS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS, INCLUDING SURFACE PREPARATIONS. AFTER ERECTION TOUCH UP AREAS WHERE PAINT OR GALVANIZING IS MISSING OR DAMAGED INCLUDING FIELD WELDS. VERIFY COMPATIBILITY BETWEEN ALL LAYERS OF COATINGS. COLORS SELECTED BY ARCHITECT.
- A. HOT-DIP GALVANIZE: LINTELS IN EXTERIOR WALLS.
- B. ALL OTHER STRUCTURAL STEEL SHALL BE SHOP PAINTED WITH A MODIFIED ALKYD RUST INHIBITIVE PRIMER, 2.5 TO 3.5 MILS DFT (BASIS OF DESIGN IS TNEMEC SERIES 10).
5. SHOP DRAWINGS: SUBMIT FOR REVIEW PRIOR TO FABRICATION.

## STEEL DECK

- 1.) STEEL DECK SHALL CONFORM TO THE STEEL DECK INSTITUTE'S CODE OF STANDARD PRACTICE, SDI-C1.0 STANDARD FOR COMPOSITE STEEL FLOOR DECK, AND SDI-NC1.0 STANDARD FOR NON-COMPOSITE STEEL FLOOR DECK.
- 2.) COMPOSITE STEEL DECK: FASTEN TO SUPPORTS ACCORDING TO SDI RECOMMENDATIONS. COMPOSITE STEEL DECK SHALL HAVE A GALVANIZED FINISH (G-60).
- 3.) SUBMIT SHOP DRAWINGS FOR STEEL DECK FOR REVIEW PRIOR TO CONSTRUCTION.

## CONCRETE NOTES

- 1.) CONCRETE DESIGN AND CONSTRUCTION: ACI 318, ACI 301, AND PROJECT SPECIFICATIONS.
- 2.) MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS:
- INTERIOR SLABS ON GRADE: 3,000 PSI, 1 1/2" MAX COURSE AGGREGATE, MAX. W/C RATIO = 0.54
- ELEVATED SLABS: 3,500 PSI, AIR ENTRAINMENT 6%, NORMAL WEIGHT
- 3.) LEVELING GROUT: NON-SHRINK, ASTM C1107, 5,000 PSI MINIMUM 2-DAY COMPRESSIVE STRENGTH.
- 4.) REINFORCING STEEL: ASTM A615, GRADE 60
- WELDED REINFORCING BARS: ASTM A706 AND AWS D1.4
- WELDED WIRE FABRIC: ASTM A185, SUPPLIED IN SHEETS
- 5.) REINFORCING BAR FABRICATION: ACI 318 FOR HOOKS AND BENDS UNO.
- 6.) SECURE REINFORCEMENT: PROVIDE ACCESSORIES, CHAIRS, SPACERS, AND SUPPORTS.
- 7.) LAP SPLICES: ACI-318 CLASS "B" TENSION LAP UNO.
- 8.) CONCRETE TESTING:
- A.) (1) ONE COMPOSITE SAMPLE FOR SLAB-ON-DECK CONSTRUCTION
- B.) OBTAIN: SLUMP (ASTM C 143), AIR CONTENT (ASTM C 231), TEMPERATURE (ASTM C 1064), AND UNIT WEIGHT (ASTM C 567) FOR EACH COMPOSITE SAMPLE.
- C.) CAST AND FIELD CURE (1) SET OF (6) STANDARD CYLINDER COMPRESSION TEST SPECIMENS FOR EACH COMPOSITE SAMPLE (ASTM C 31). TEST (2) AT 7 DAYS, (2) AT 28 DAYS, AND HOLD (2) FOR 56 DAYS AS REQUIRED.
- D.) CAST AND LABORATORY CURE (2) SET OF (6) STANDARD CYLINDER COMPRESSION TEST SPECIMENS FOR EACH COMPOSITE SAMPLE (ASTM C 31). TEST (2) AT 7 DAYS, (2) AT 28 DAYS AND HOLD (2) FOR 56 DAYS AS REQUIRED.
- 9.) ELEVATED SLABS: ADJUST CONCRETE QUANTITIES TO MAINTAIN A LEVEL SLAB SURFACE AT THE REQUIRED ELEVATIONS TO ACCOMMODATE SUPPORT DEFLECTIONS.
- 10.) ADHESIVE ANCHORS: LOCATE AWAY FROM REBAR. HILTI RE500; POWERS PE1000+; SIMPSON SET.
- 11.) SHOP DRAWINGS: SUBMIT PRIOR TO CONSTRUCTION FOR REINFORCING STEEL AND CONCRETE MIX DESIGNS.

## BUILD AMERICA, BUY AMERICA ACT

1. BUILD AMERICA, BUY AMERICA ACT (BABAA) – REQUIREMENTS INSTITUTED BY THE BIPARTISAN INFRASTRUCTURE LAW OF 2021 MANDATING DOMESTIC PREFERENCE THAT ALL IRON AND STEEL, MANUFACTURED PRODUCTS, AND CONSTRUCTION MATERIALS ARE PRODUCED IN THE UNITED STATES.
- A. CONSTRUCTION MATERIALS – THOSE ARTICLES, MATERIALS, OR SUPPLY – OTHER THAN AN ITEM OF PRIMARILY IRON OR STEEL; A MANUFACTURED PRODUCT; CEMENT AND CEMENTITIOUS MATERIALS; AGGREGATES SUCH AS STONE, SAND, OR GRAVEL; OR AGGREGATE BINDING AGENTS OR ADDITIVES – THAT ARE OR CONSIST PRIMARILY OF: NON-FERROUS METALS, PLASTIC AND POLYMER-BASED PRODUCTS, GLASS, LUMBER OR DRYWALL.
- B. MANUFACTURED PRODUCT – ITEMS ASSEMBLED OUT OF COMPONENTS, OR OTHERWISE MADE OR PROCESSED FROM RAW MATERIALS INTO FINISHED PRODUCTS. MANUFACTURED PRODUCTS MUST BE MANUFACTURED (ASSEMBLED) IN THE UNITED STATES, AND THE COST OF COMPONENTS THAT WERE MINED, PRODUCED, OR MANUFACTURED IN THE UNITED STATES MUST BE GREATER THAN 55 PERCENT OF THE TOTAL COST OF ALL COMPONENTS OF THE PRODUCT.
- C. MANUFACTURER'S CERTIFICATION – DOCUMENTATION PROVIDED BY A MANUFACTURER, CERTIFYING THAT THE ITEMS PROVIDED BY MANUFACTURER MEET THE DOMESTIC PREFERENCE REQUIREMENTS OF BABAA.

## STRUCTURAL SPECIAL INSPECTIONS

THE FOLLOWING TABLE COMPRISES THE STRUCTURAL SPECIAL INSPECTION REQUIREMENTS FOR THIS PROJECT IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM CODE AND THE 2020 BCNYS, CHAPTER 17. REFER TO PROJECT SPECIFICATIONS FOR REQUIRED QUALIFICATIONS OF PERSONNEL PERFORMING SPECIAL INSPECTION ACTIVITIES AND FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

### SPECIAL INSPECTION NOTES

1. SPECIAL INSPECTIONS ARE REQUIRED FOR THIS PROJECT.
2. COORDINATE WORK WITH OWNER'S TESTING AND SPECIAL INSPECTION REPRESENTATIVE.
3. PREFABRICATED ITEMS SHALL BE MANUFACTURED BY APPROVED AND CERTIFIED SHOPS.
4. REFERENCE BCNYS CHAPTER 17 FOR DEFINITION OF "CONTINUOUS" AND "PERIODIC".
5. REFERENCE AISC 360 CHAPTER N FOR DEFINITION OF "PERFORM" AND "OBSERVE".
6. REFERENCE ACI 530 FOR DEFINITION OF "CONTINUOUS" AND "PERIODIC".
7. REFERENCE SDI QA/QC FOR DEFINITION OF "PERFORM" AND "OBSERVE".

CAST-IN-PLACE CONCRETE				
1. INSPECT REINFORCEMENT AND VERIFY PLACEMENT	PERIODIC	ACI 318: CH. 20, 20.5 25.3, 26.6.1-26.6.3	1908.4	
2. VERIFY REQUIRED CONCRETE MIX IS USED AT EACH LOCATION.	PERIODIC	ACI 318: CH. 19 26.4.3, 26.12	1904.1, 1904.2 1908.2, 1908.3	
3. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	CONTINUOUS	ASTM C172, C31 ACI 318: 26.4, 26.12	1908.10	
4. INSPECT CONCRETE FOR PROPER APPLICATION TECHNIQUES.	CONTINUOUS	ACI 318:26.5	1908.6, 1908.7, 1908.8	

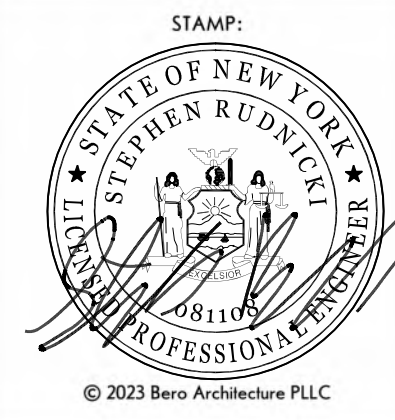
### STEEL CONSTRUCTION (REFERENCE AISC 360 CHAPTER N)

1. INSPECTION TASKS PRIOR TO WELDING: A. WELDING PROCEDURE SPECIFICATIONS (WPS) AVAILABLE. B. MANUFACTURER CERTIFICATIONS FOR WELDING CONSUMABLES AVAILABLE. C. MATERIAL IDENTIFICATION (TYPE/GRADE) D. WELDER IDENTIFICATION SYSTEM E. FIT-UP OF GROOVE WELDS (INCLUDING JOINT GEOMETRY) F. CONFIGURATION AND FINISH OF ACCESS HOLES G. FIT-UP OF FILLET WELDS	PERFORM PERFORM  OBSERVE OBSERVE OBSERVE OBSERVE OBSERVE			
2. INSPECTION TASKS DURING WELDING: A. USE OF QUALIFIED WELDERS B. CONTROL AND HANDLING OF WELDING CONSUMABLES C. NO WELDING OVER CRACKED TACK WELDS D. ENVIRONMENTAL CONDITIONS E. WPS FOLLOWED F. WELDING TECHNIQUES	 OBSERVE OBSERVE OBSERVE OBSERVE OBSERVE OBSERVE			
3. INSPECTION TASKS AFTER WELDING: A. WELDS CLEANED B. SIZE, LENGTH AND LOCATION OF WELDS C. WELDS MEET VISUAL ACCEPTANCE CRITERIA D. ARC STRIKES E. K-AREA F. BACKING REMOVED AND WELD TABS REMOVED (IF REQUIRED) G. REPAIR ACTIVITIES H. DOCUMENT ACCEPTANCE OR REJECTION OF WELDED JOINT / MEMBER 3.1 NONDESTRUCTIVE TESTING OF WELDED JOINTS: AISC 360 STRUCTURAL STEEL SPECIFICATION CHAPTER N. 5.5	 OBSERVE PERFORM PERFORM PERFORM PERFORM PERFORM PERFORM PERFORM AWS D1.1			
4. INSPECTION TASKS PRIOR TO BOLTING: A. MANUFACTURER'S CERTIFICATIONS AVAILABLE FOR FASTENER MATERIALS B. FASTENERS MARKED IN ACCORDANCE WITH ASTM REQUIREMENTS. C. PROPER FASTENERS SELECTED FOR THE JOINT DETAIL (GRADE, TYPE, BOLT LENGTH IF THREADS ARE TO BE EXCLUDED FROM SHEAR PLANE) D. PROPER BOLTING PROCEDURE SELECTED FOR JOINT DETAIL E. CONNECTING ELEMENTS, INCLUDING THE APPROPRIATE FAYING SURFACE CONDITION AND HOLE PREPARATION, IF SPECIFIED, MEET APPLICABLE REQUIREMENTS. F. PRE-INSTALLATION VERIFICATION TESTING BY INSTALLATION PERSONNEL OBSERVED AND DOCUMENTED FOR FASTENER ASSEMBLIES AND METHODS USED G. PROPER STORAGE PROVIDED FOR BOLTS, NUTS, WASHERS AND OTHER FASTENER COMPONENTS	PERFORM  OBSERVE OBSERVE  OBSERVE	AISC 360 CHAPTER N	1705.2	
5. INSPECTION TASKS DURING BOLTING: A. FASTENER ASSEMBLIES, OF SUITABLE CONDITION, PLACED IN ALL HOLES AND WASHERS (IF REQUIRED) ARE POSITIONED AS REQUIRED. B. JOINT BROUGHT TO THE SNUG-TIGHT CONDITION PRIOR TO THE PRETENSIONING OPERATION C. FASTENER COMPONENT NOT TURNED BY THE WRENCH PREVENTED FROM ROTATING D. FASTENERS ARE PRETENSIONED IN ACCORDANCE WITH THE RCSC SPECIFICATION, PROGRESSING SYSTEMATICALLY FROM THE MOST RIGID POINT TOWARD THE FREE EDGES	 OBSERVE OBSERVE OBSERVE OBSERVE			
6. INSPECTION TASKS AFTER BOLTING: A. DOCUMENT ACCEPTANCE OR REJECTION OF BOLTED CONNECTIONS	PERFORM			
7. INSPECTION OF STEEL ELEMENTS OF COMPOSITE CONSTRUCTION PRIOR TO CONCRETE PLACEMENT A. PLACEMENT AND INSTALLATION OF STEEL DECK B. PLACEMENT AND INSTALLATION OF STEEL HEADED STUD ANCHORS C. DOCUMENT ACCEPTANCE OR REJECTION OF STEEL ELEMENTS	 PERFORM PERFORM PERFORM			

POST INSTALLED ANCHORS IN MASONRY AND CONCRETE				
1. ANCHOR SIZE AND EMBEDMENT AND HOLE CLEANING (ALL)	PERIODIC	CONTINUOUS	MANUFACTURER'S INSTALLATION INSTRUCTIONS	ACI318 AND ESR REPORT
2. HOLE CLEANING AND PREPARATION (ADHESIVE)				
3. OVERHEAD APPLICATIONS (ALL)				
4. HORIZONTAL ANCHORS SUPPORTING SUSTAINED TENSION (ADHESIVE)				
5. ADDITIONAL INSPECTION PER MANUFACTURER'S ESR REPORT				
STEEL DECK INSTALLATION				
1. INSPECTION OR EXECUTION TASKS PRIOR TO DECK PLACEMENT A. VERIFY COMPLIANCE OF MATERIALS (DECK AND ALL DECK ACCESSORIES) WITH CONSTRUCTION DOCUMENTS, INCLUDING PROFILES, MATERIAL PROPERTIES, AND BASE METAL THICKNESS	PERFORM			
B. DOCUMENT ACCEPTANCE OR REJECTION OF DECK AND DECK ACCESSORIES	PERFORM			
2. INSPECTION OR EXECUTION TASKS AFTER DECK PLACEMENT A. VERIFY COMPLIANCE OF MATERIALS (DECK AND ALL DECK ACCESSORIES) WITH CONSTRUCTION DOCUMENTS	PERFORM			
B. VERIFY DECK MATERIALS ARE REPRESENTED BY MILL CERTIFICATIONS THAT COMPLY WITH THE CONSTRUCTION DOCUMENTS	PERFORM			
C. DOCUMENT ACCEPTANCE OR REJECTION OF INSTALLATION OF DECK AND DECK ACCESSORIES				
3. INSPECTION OR EXECUTION TASKS PRIOR TO WELDING A. WELDING PROCEDURE SPECIFICATIONS (WPS) AVAILABLE B. MANUFACTURER CERTIFICATION FOR WELDING CONSUMABLES AVAILABLE C. MATERIAL IDENTIFICATION (TYPE/GRADE) D. CHECK WELDING EQUIPMENT	OBSERVE OBSERVE OBSERVE OBSERVE			
4. INSPECTION OR EXECUTION TASKS DURING WELDING A. USE OF QUALIFIED WELDERS B. CONTROL AND HANDLING OF WELDING CONSUMABLES C. ENVIRONMENTAL CONDITIONS (WIND SPEED, MOISTURE, TEMP) D. WPS FOLLOWED	 PERFORM PERFORM PERFORM PERFORM	SDI QA/QC QUALITY CONTROL AND QUALITY ASSURANCE FOR INSTALLATION OF STEEL DECK	1705.2.2	
5. INSPECTION TASKS AFTER WELDING A. VERIFY SIZE AND LOCATION OF WELDS, INCLUDING SUPPORT, SIDELAP, AND PERIMETER WELDS B. WELDS MEET VISUAL ACCEPTANCE CRITERIA C. VERIFY REPAIR ACTIVITIES D. DOCUMENT ACCEPTANCE OR REJECTION OF WELDS	 PERFORM PERFORM PERFORM PERFORM			
6. INSPECTION OR EXECUTION TASKS PRIOR TO MECHANICAL FASTENING A. MANUFACTURER INSTALLATION INSTRUCTIONS AVAILABLE FOR MECHANICAL FASTENERS B. PROPER TOOLS AVAILABLE FOR FASTENER INSTALLATION C. PROPER STORAGE FOR MECHANICAL FASTENERS	 OBSERVE OBSERVE OBSERVE			
7. INSPECTION OR EXECUTION TASKS DURING MECHANICAL FASTENING A. FASTENERS ARE POSITIONED AS REQUIRED B. FASTENERS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS	 OBSERVE OBSERVE			
8. INSPECTION OR EXECUTION TASKS AFTER MECHANICAL FASTENING A. CHECK SPACING, TYPE, AND INSTALLATION OF SUPPORT FASTENERS B. CHECK SPACING, TYPE, AND INSTALLATION OF SIDELAP FASTENERS C. CHECK SPACING, TYPE, AND INSTALLATION OF PERMETER FASTENERS D. VERIFY REPAIR ACTIVITIES E. DOCUMENT ACCEPTANCE OR REJECTION OF MECHANICAL FASTENERS	 PERFORM PERFORM PERFORM PERFORM PERFORM			



32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | www.beroaarchitecture.com



STRUCTURAL ENGINEER:



1653 East Main Street  
Rochester, NY 14609

MEP/FP ENGINEER:



315 Rockingham Street  
Rochester, NY 14620

**WARNING:**  
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.  
FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE 16, PART 69.5(3) OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THE DRAWINGS, IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY", AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.  
WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFOR. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

#### REVISIONS:

#	Date	Description

CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

#### PROJECT INFORMATION:

Construction Documents  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22121

ISSUE DATE: 04/25/2025

DRAWN BY: SR

SHEET TITLE:

## GENERAL NOTES

SHEET NUMBER:

# S001



---

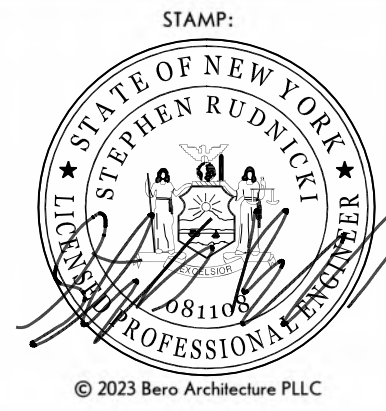
1/4" = 1'-0"





**bero**  
ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | www.beroarchitecture.com



STRUCTURAL ENGINEER:

**Jensen BRV**  
ENGINEERING, PLLC

1653 East Main Street  
Rochester, NY 14609

MEP/FP ENGINEER:

**CWE**  
CW Engineering

315 Rockingham Street  
Rochester, NY 14620

**WARNING:**  
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.

FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE 16, PART 69.5(3) OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THIS DRAWING. IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY," AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.

WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFOR. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

REVISIONS:

#	Date	Description

CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

PROJECT INFORMATION:

Construction Documents  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22121

ISSUE DATE: 04/25/2025

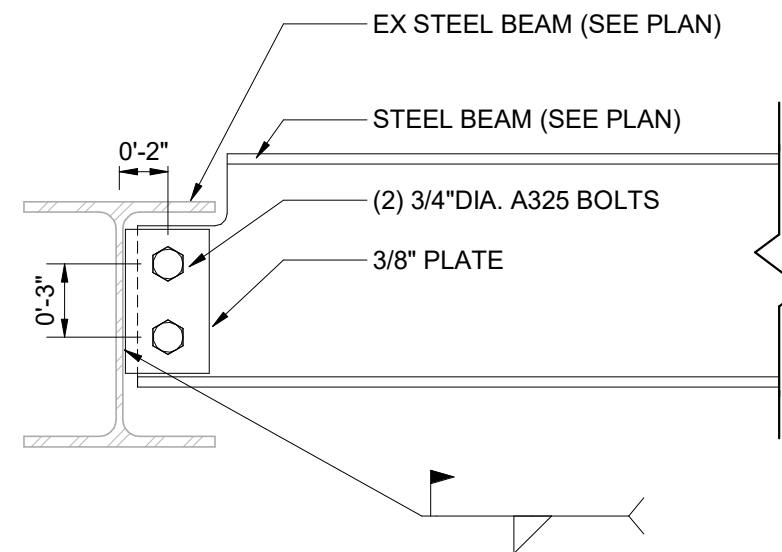
DRAWN BY: SR

SHEET TITLE:

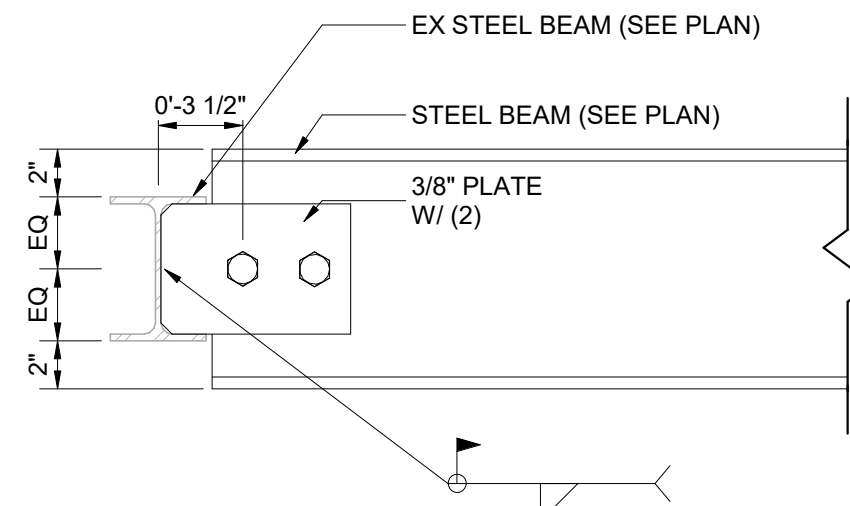
**STRUCTURAL  
DETAILS**

SHEET NUMBER:

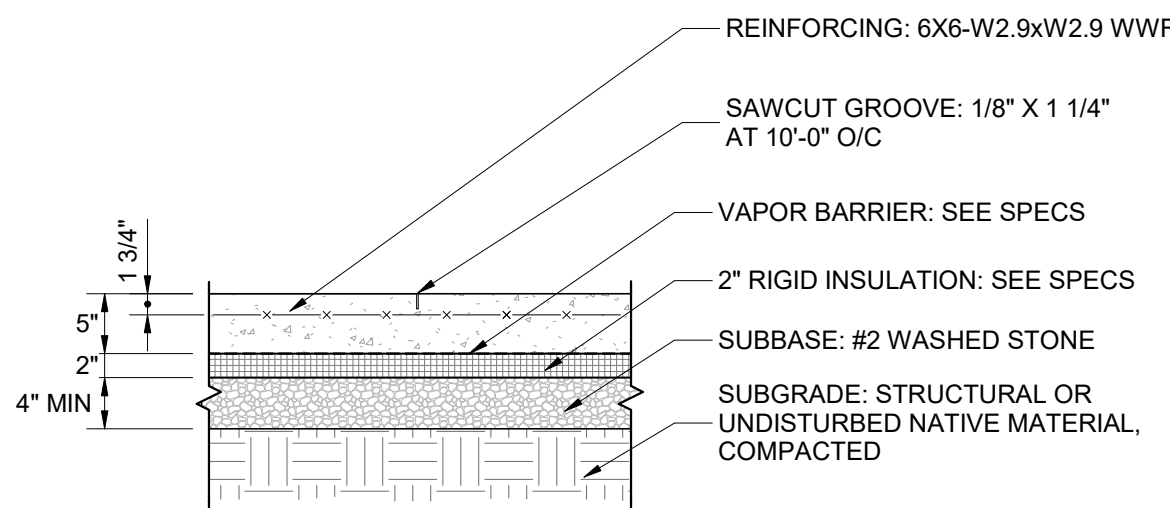
**\$500**



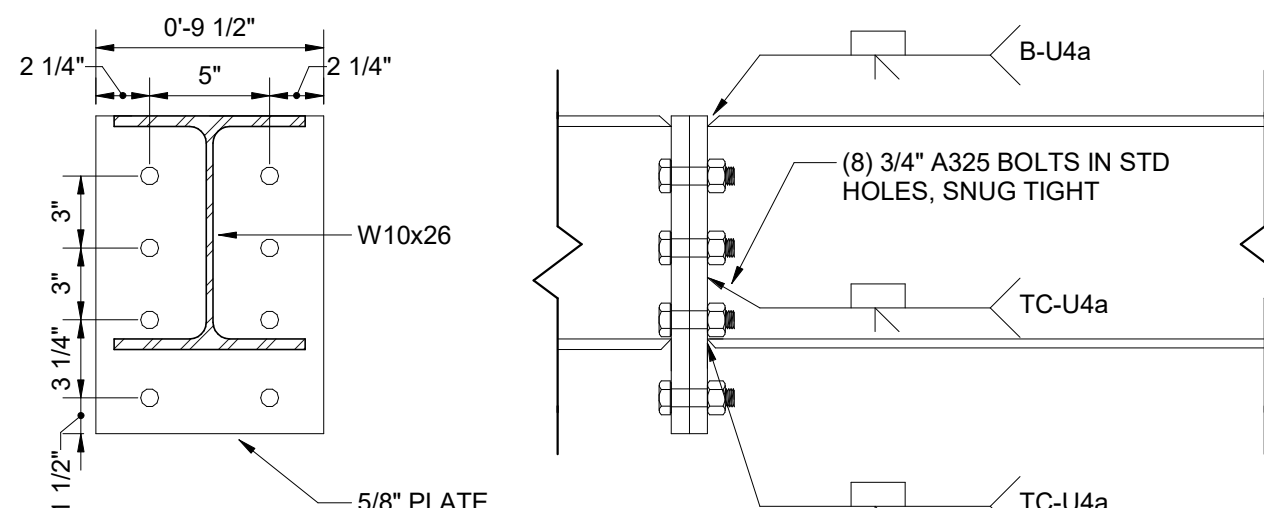
**9 NEW BEAM TO EX W10**  
1 1/2" = 1'-0"



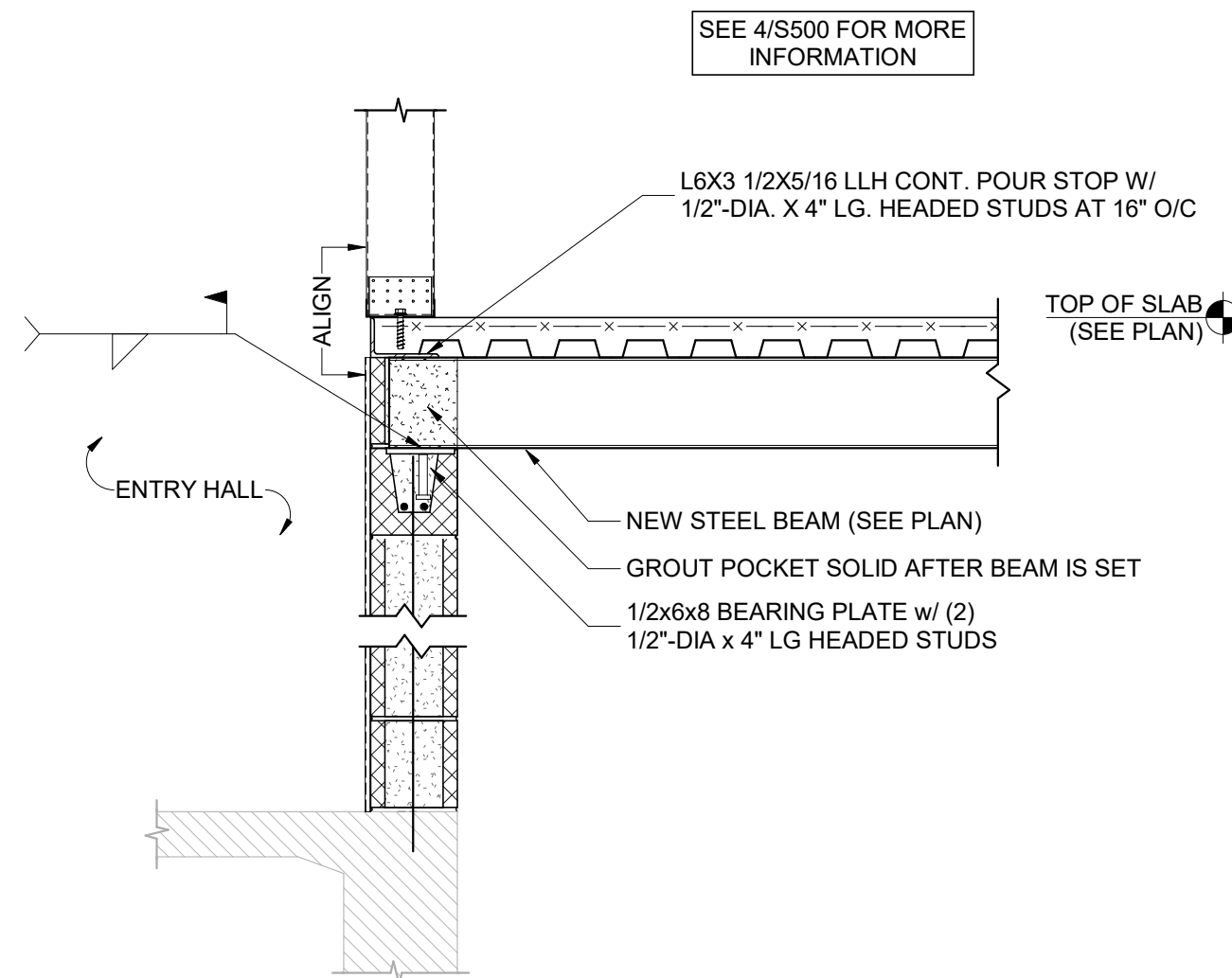
**8 NEW BEAM TO EX W6**  
1 1/2" = 1'-0"



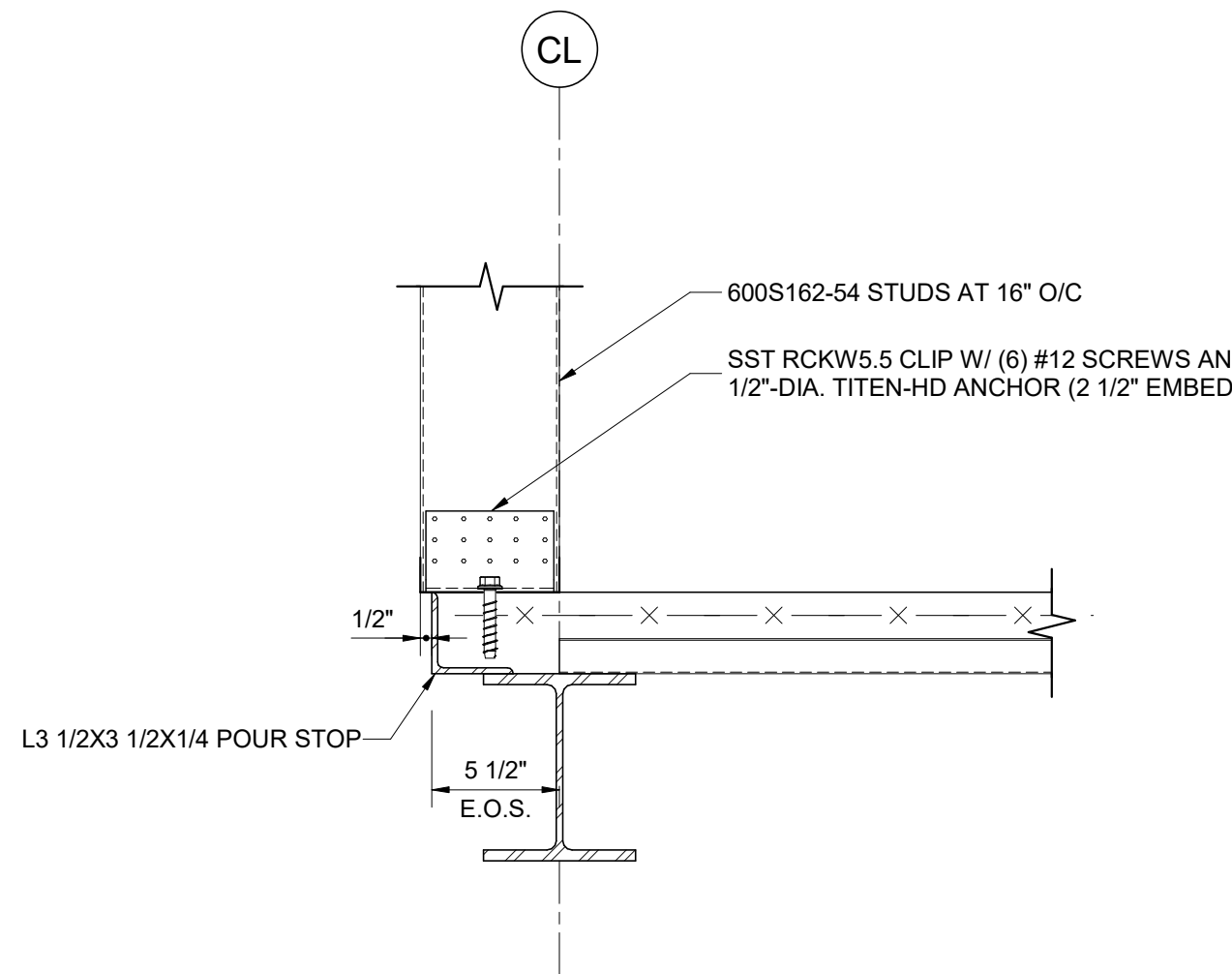
**10 NEW SLAB ON GRADE - ALTERNATE NO. 1**  
3/4" = 1'-0"



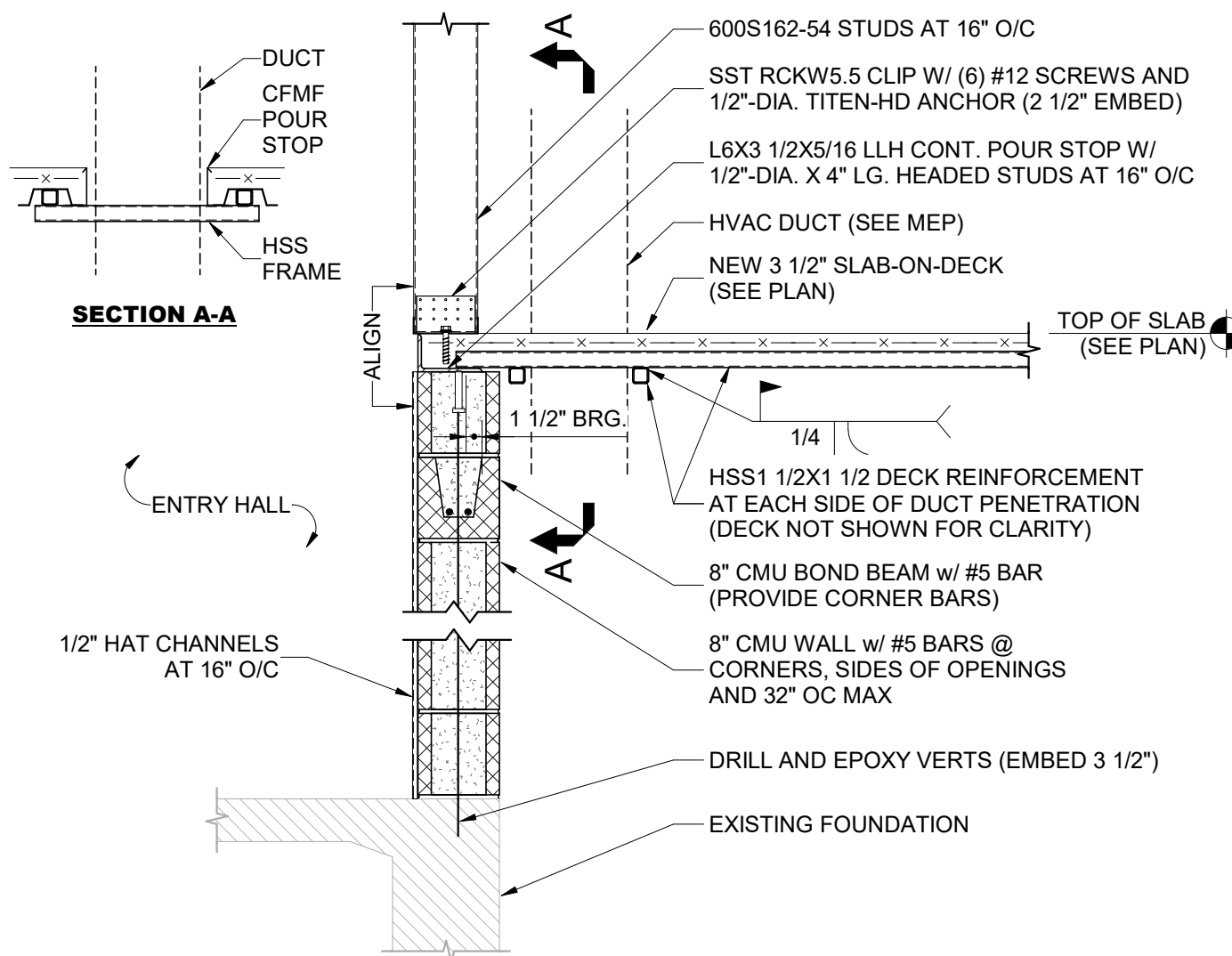
**7 BEAM SPLICE DETAIL**  
1 1/2" = 1'-0"



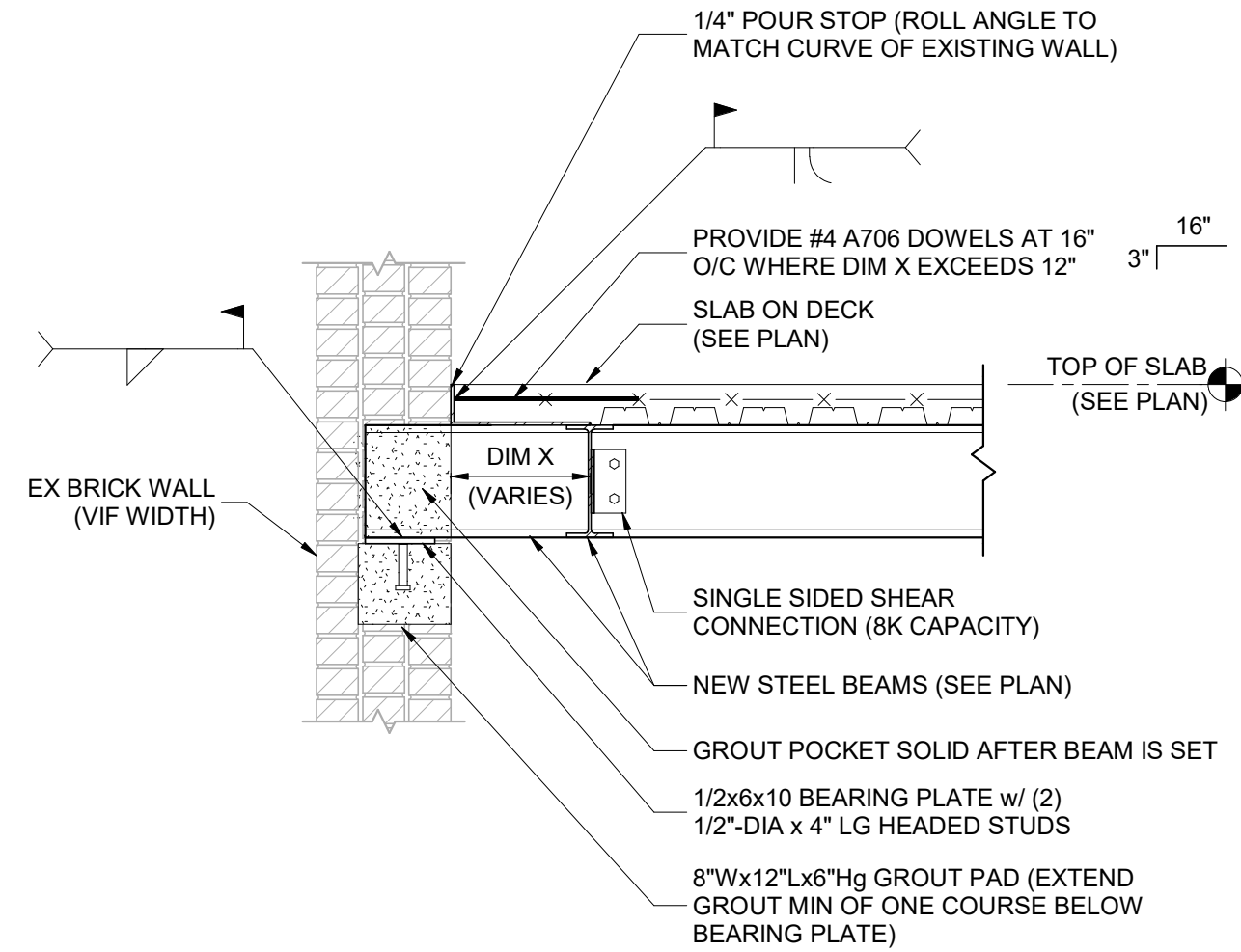
**6 MASONRY BEAM POCKET IN NEW CMU**  
3/4" = 1'-0"



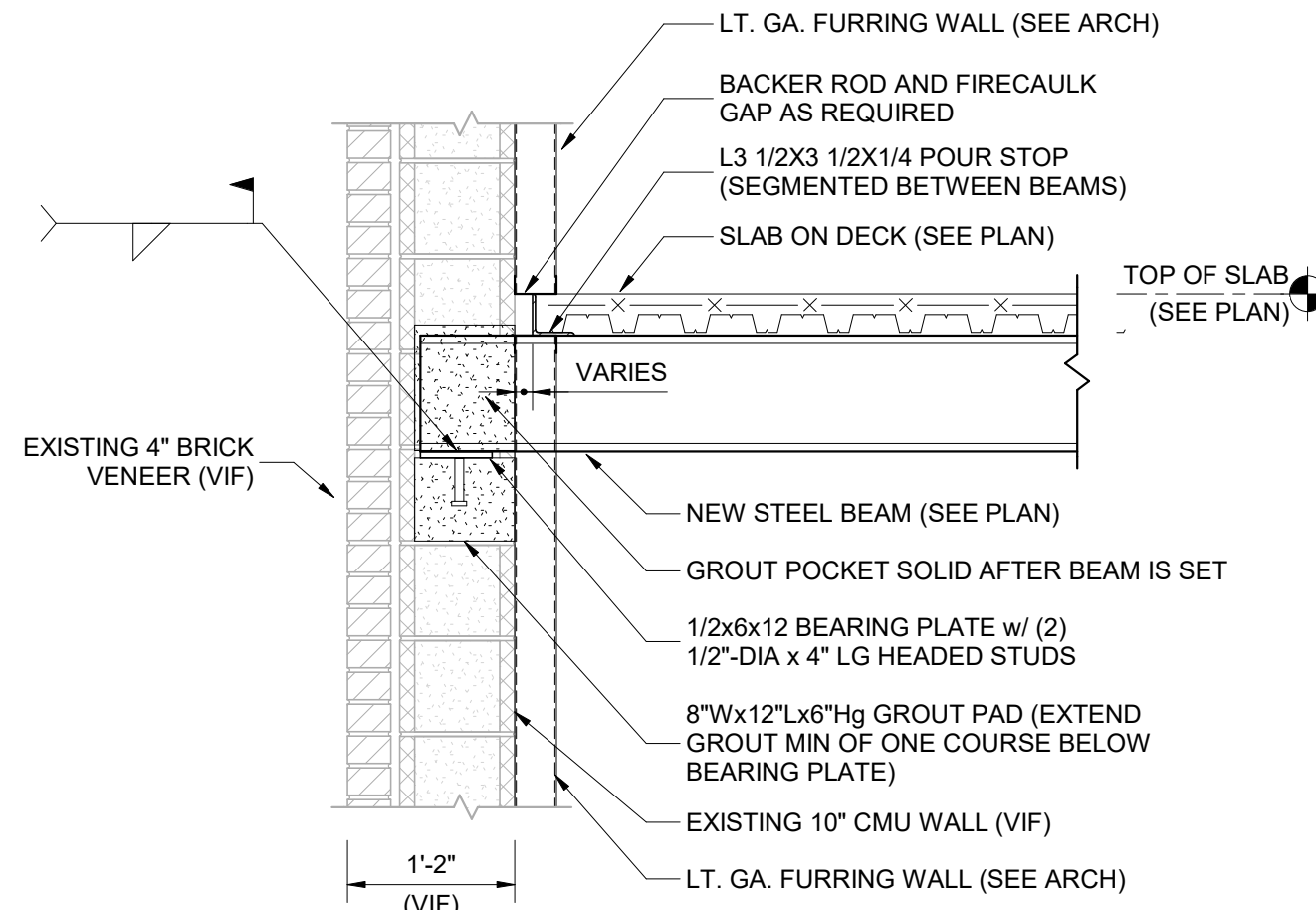
**5 FLOOR OPENING**  
1 1/2" = 1'-0"



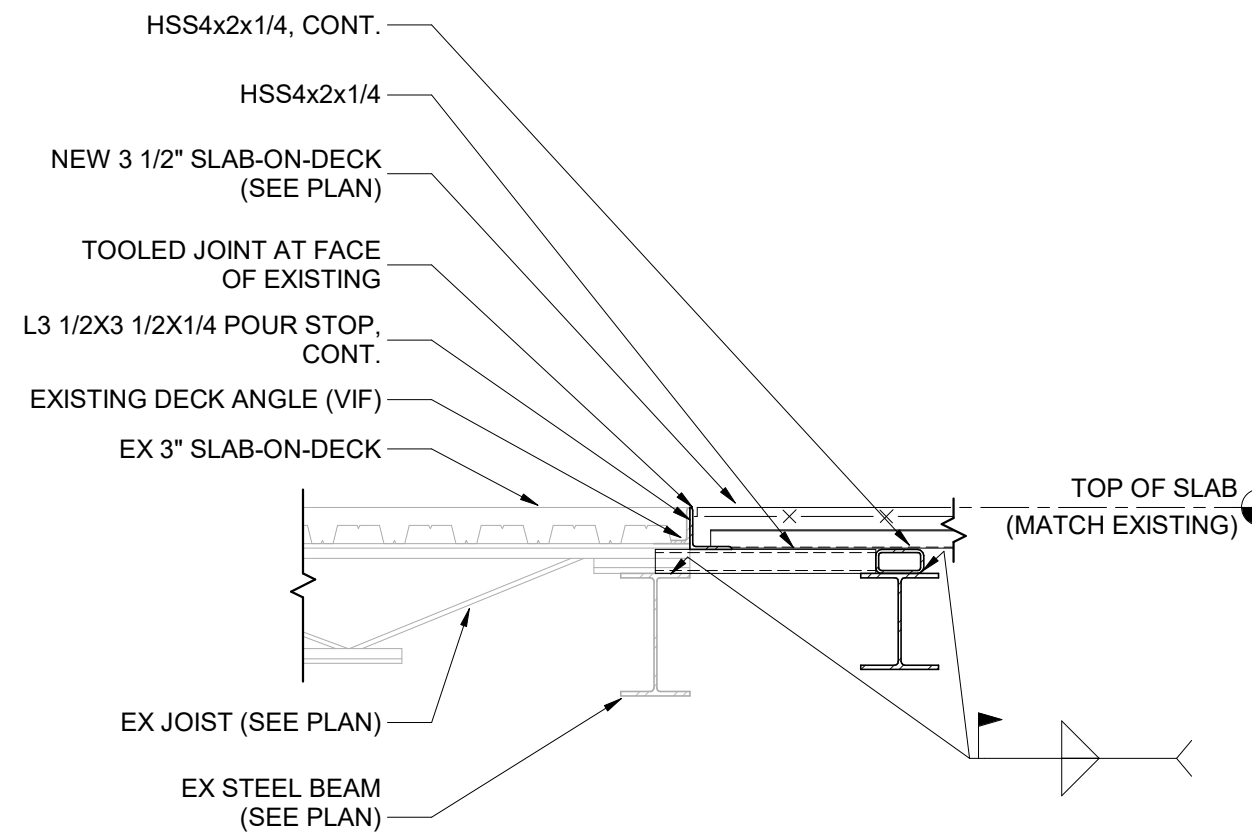
**4 EDGE OF SLAB DETAIL**  
3/4" = 1'-0"



**3 MASONRY BEAM POCKET IN EX BRICK**  
3/4" = 1'-0"

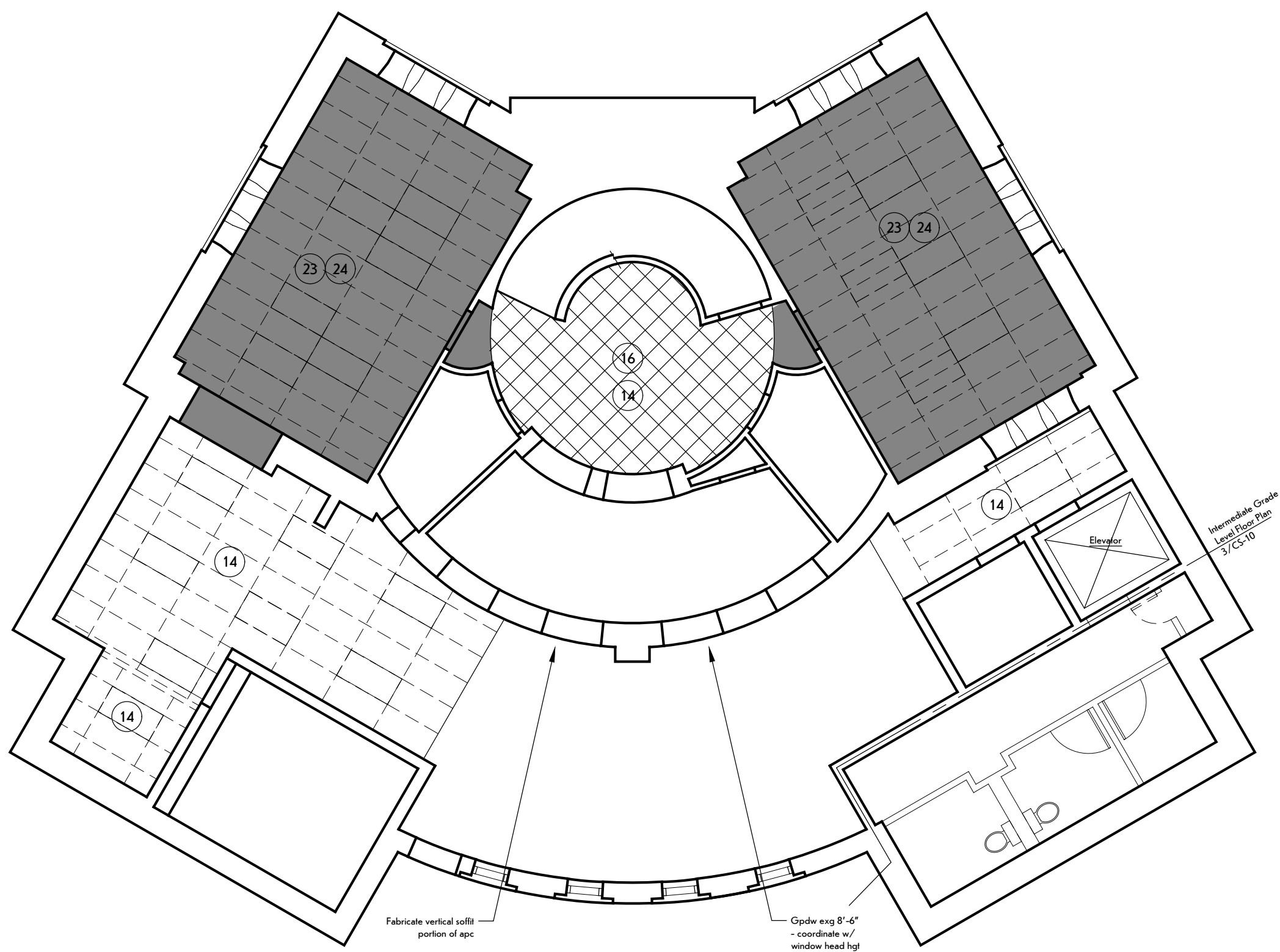


**2 MASONRY BEAM POCKET IN EX CMU**  
3/4" = 1'-0"

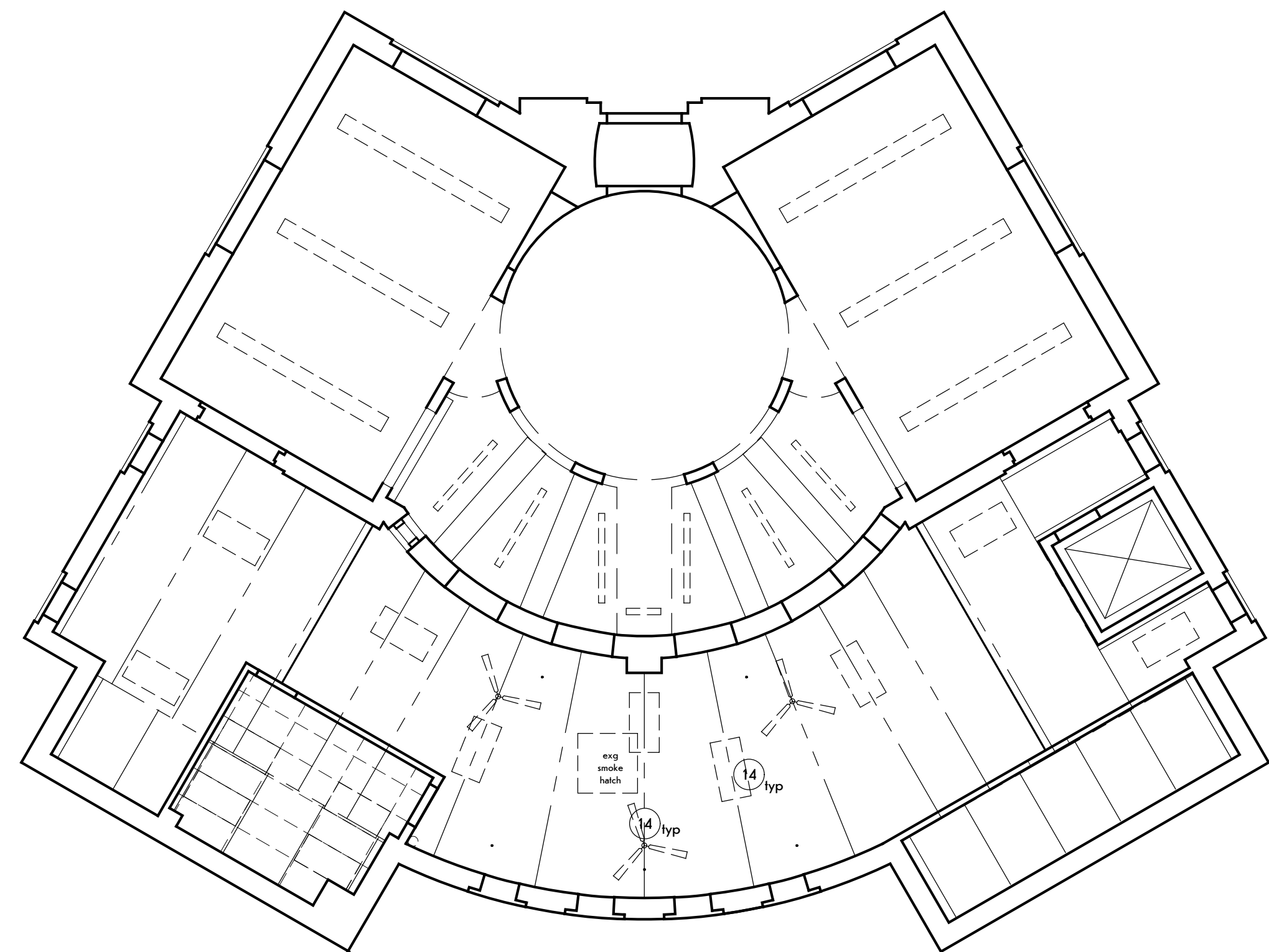


**1 SLAB-ON-DECK @ EXISTING**  
3/4" = 1'-0"





project N  
2  
Lower Level Demolition  
Reflected Ceiling Plan  
SCALE: 1/8" = 1'-0"



project N  
4  
Main Level Demolition  
Reflected Ceiling Plan  
SCALE: 1/8" = 1'-0"

DEMOLITION LEGEND:

- To be removed  
— To remain  
Remove ceiling/floor construction (Alternate No. 1 & Alternate No. 6)

GENERAL DEMOLITION NOTES:

1. Protect portions of building not scheduled for removal.
2. Remove carpet and rubber base, full extent of building.
3. Remove metal pipe rail at all, interior existing openings.
4. Elevator to be protected during construction.
5. Refer to MEP drawings for associated removals.

DEMOLITION NOTES:

1. Remove frame wall construction and window. Plumbing and Electrical Contract responsible for relocating power and plumbing in new walls.
2. Remove wall construction to finish floor level.
3. Salvage door and hardware for reinstallation. Store during construction.
4. Remove bifold door.
5. Remove cabinetry, sink, and remaining equipment. Coordinate removals w/ abatement for Study Room 010.
6. Remove rubber stair treads and mastic to expose steel tread.
7. Asbestos containing flooring to be encapsulated.
8. Remove circulation desk casework.
9. Remove guardrail paneling full extent of low guardrail to expose original guardrail, contact Architect for inspection of existing conditions. Original rail is expected behind paneling.
10. Prep walls for paint, full extent of Rotunda and entry stair and Study Room 010.
11. Protect exg entrance mat system with pwd during construction. Protect exg firing and walls in Entry Hall 020.
12. Remove portion of exg window sash at floor level to provide new opening. Refer to 1/A-41 for extent of removals.
13. Remove desk and casework below stair.
14. Removal of fans and lighting responsibility of Electrical Contract. Coordinate removals w/ Electrical and Mechanical Contract.
15. Provide openings for wood windows at existing masonry wall.
16. Remove acoustic tile ceiling.
17. Remove fire rated door and frame.
18. Remove vertical wood wall trim.
19. Remove wallpaper, prep walls for paint finish. GC to provide openings as req'd to install ducts (Alternate No. 4), coord w/ Mechanical Contractor.

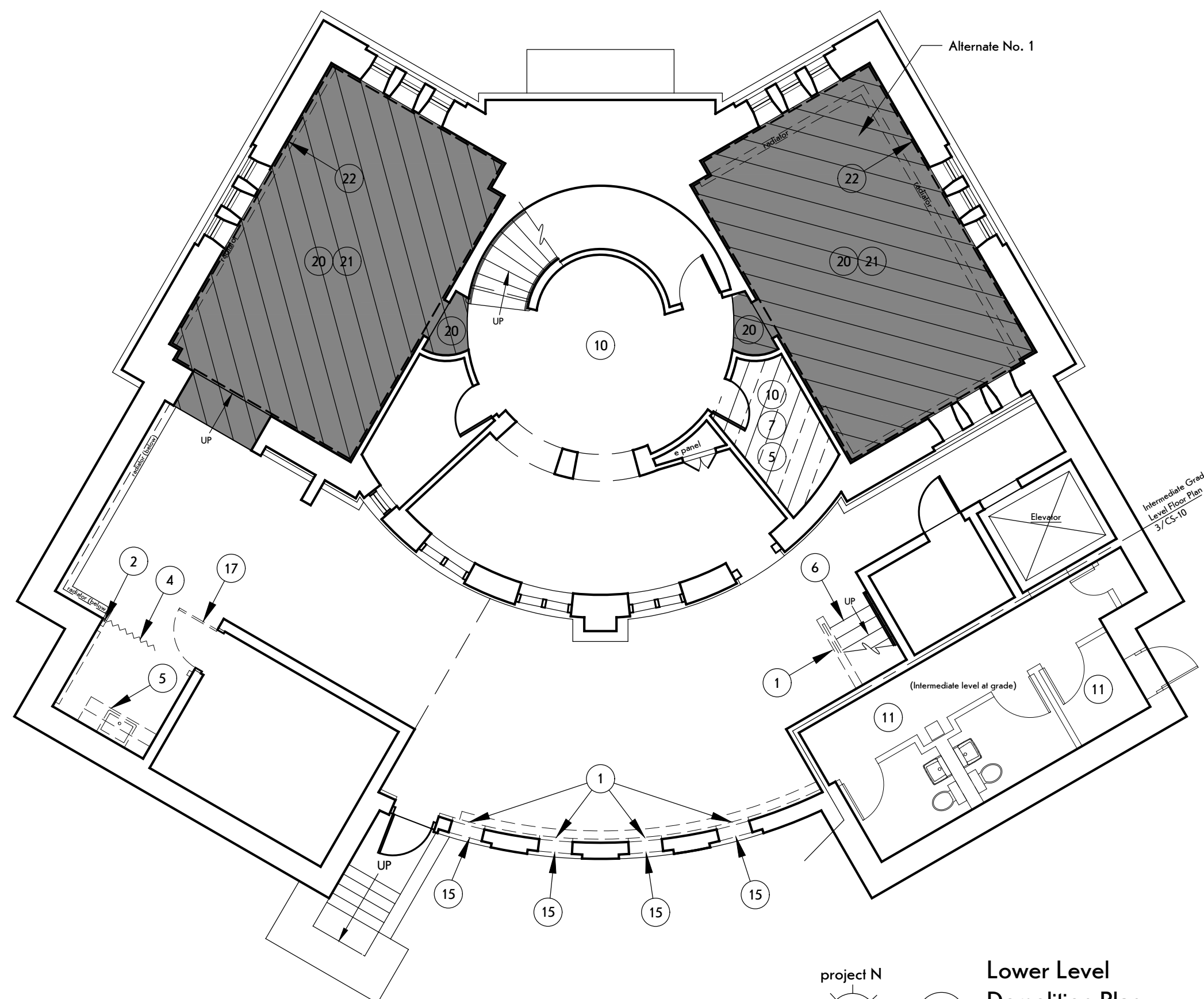
DEMOLITION NOTES - ALTERNATE NO. 1 & ALTERNATE NO. 6:

- ALTERNATE NO. 6
20. Remove wood floor and sleepers for inspection of existing concrete floor.
  21. Remove conc floor, Allowance No. 6, and excavate as req'd for new slab.

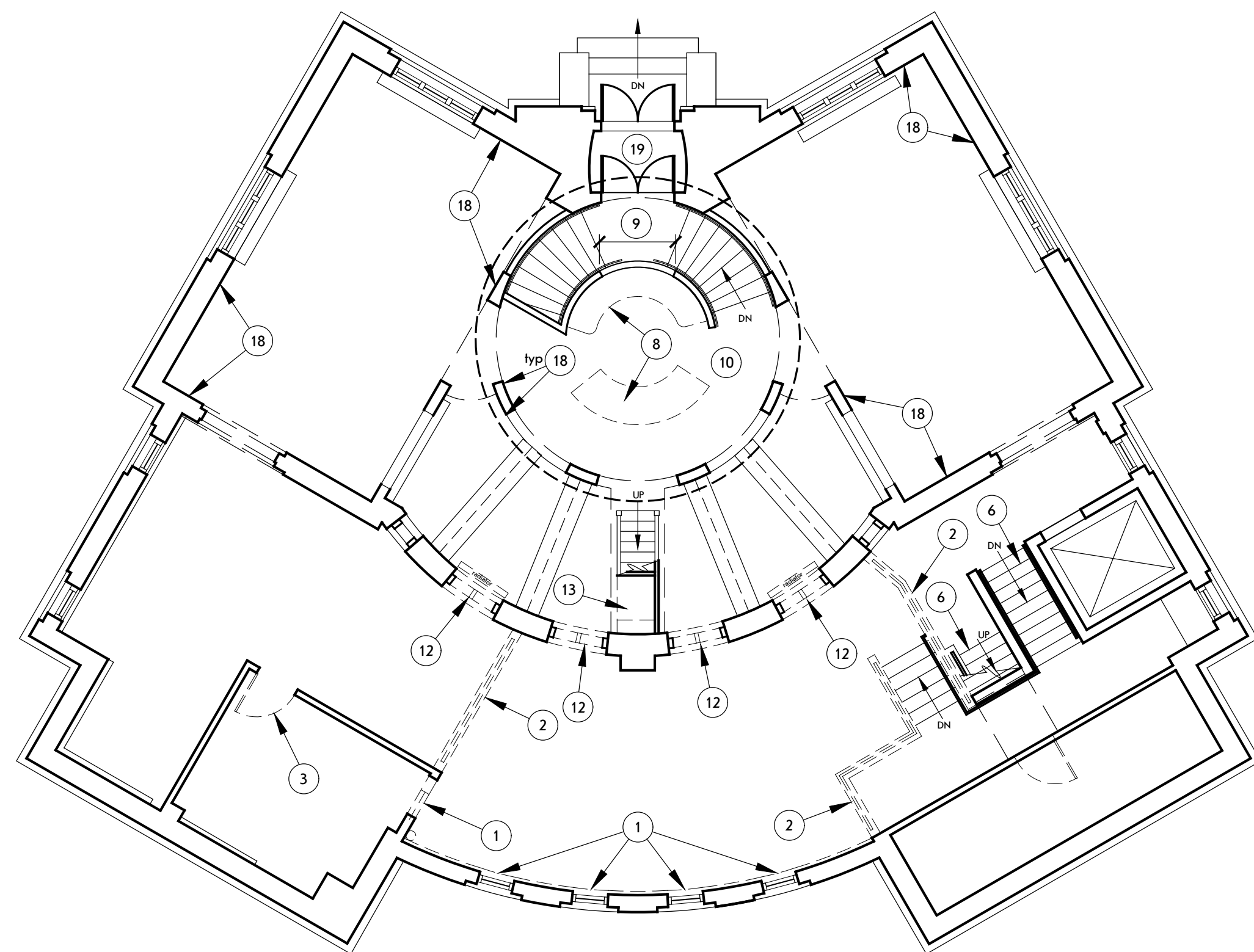
- ALTERNATE NO. 1
22. Remove wall paneling.
  23. Remove acoustical tile ceiling and grid. Coordinate w/ Electrical and Mechanical Work.
  24. Remove wood ceiling lathe and any remaining plaster.

ALTERNATES:

1. Alternate No. 1: Renovation of Children's Collection 006 and Young Adult 012.
2. Alternate No. 2: Acoustical, hung panel ceiling above Circulation Desk.
3. Alternate No. 3: Upper Rotunda carpet flooring medallion.
4. Alternate No. 4: Extend cooling system.
5. Alternate No. 5: Atrium access.
6. Alternate No. 6: Provide concrete slab in Children's Collection 006 and Young Adult 012.



project N  
1  
Lower Level  
Demolition Plan  
SCALE: 1/8" = 1'-0"



project N  
3  
Main Level  
Demolition Plan  
SCALE: 1/8" = 1'-0"



**bero**  
ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | www.beroarchitecture.com



STRUCTURAL ENGINEER:



1653 East Main Street  
Rochester, NY 14609

MEP/FP ENGINEER:



315 Rockingham Street  
Rochester, NY 14620

**WARNINGS:**  
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.  
FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE VII, PART 69.5(8) OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THIS DRAWING IF, ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY", AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.  
WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFOR. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

REVISIONS:

#	Date	Description

CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

PROJECT INFORMATION:

Expansion and Renovation  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22121

ISSUE DATE: April 25, 2025

DRAWN BY: LMY / TTN

SHEET TITLE:

Main & Lower Level  
Demolition Plan

SHEET NUMBER:

**D-10**



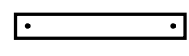
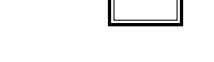
ROOM FINISH SCHEDULE												
ROOM		FLOORING				WALLS		CEILING			NOTES	
NO.	NAME	FLOOR		BASE		MAT'L	FC	MAT'L	FC	HGHT.		
		MAT'L	FC	MAT'L	FC							
001	Meeting Room	cpl	-	rbr	-	e gpdw/ gpdw	pnt	apc	-	8'-1"	-	
002	not used	-	-	-	-	-	-	-	-	-	-	
003	Children's Programming	cpl / lvt	-	rbr	-	e gpdw	pnt	apc	-	8'-0"	-	
004	Kitchenette	lvt	-	rbr	-	e gpdw	pnt	apc	-	8'-0"	-	
006	Children's Collection	cpl	-	wd	pnt	gpdw	pnt	apc/gpdw	-/pnt	7'-0"/8'-6"	(1) (3) (6)	
007	Lower Rotunda	cpl	-	wd	pnt	e plas	pnt	gpdw	-	9'-0"	(4)	
008	Children's Librarian	cpl	-	e wd	pnt	e plas	pnt	e plas	pnt	9'-0"	-	
009	Juvenile Fiction	cpl	-	rbr	-	e gpdw	pnt	e apc	-	6'-4 1/2"	-	
010	Study Room	cpl	-	e wd	pnt	e plas	pnt	e plas	pnt	9'-0"	(2)	
012	Young Adult	cpl	-	wd	pnt	gpdw	-	apc/gpdw	-/pnt	7'-0"/8'-6"	(1) (3) (5) (6)	
013	Hallway	cpl	-	rbr	-	e gpdw	pnt	apc	-	8'-0"	-	
015	Storage	cpl	-	rbr	-	gpdw	pnt	-	-	-	-	
020	Entry Hall	lvt	-	e rbr	-	e gpdw	pnt	-	-	-	-	
GENERAL NOTES							NOTES					
1. Repair & refinish distressed areas. 2. Paint all exg & new exposed elements in areas receiving work including, but not limited to walls, ceilings, utilities, ducts, conduit.							1. Base bid includes carpet flooring only. 2. Install carpet over existing, asbestos containing flooring. 3. Base bid, prep and paint exg window. 4. Laminate gpdw to exg plaster ceiling. 5. Base bid, do not paint Young Adult room. Alternate No. 1: Prep and paint walls. 6. Alternate No. 1: replace ceiling.					

## FINISH KEY:

e	Existing
apc	Acoustical panel ceiling
bulbld	Beadboard
cpl	Carpet
cmu	Concrete masonry unit
gpdw	Gypsum drywall
lvt	Luxury vinyl tile
plas	Plaster
pnt	Paint
pol	Polished (concrete)
ref	Refinish
rbr	Rubber
stn	Stain and Clear Finish
vcl	Vinyl Composite Tile
wd	Wood

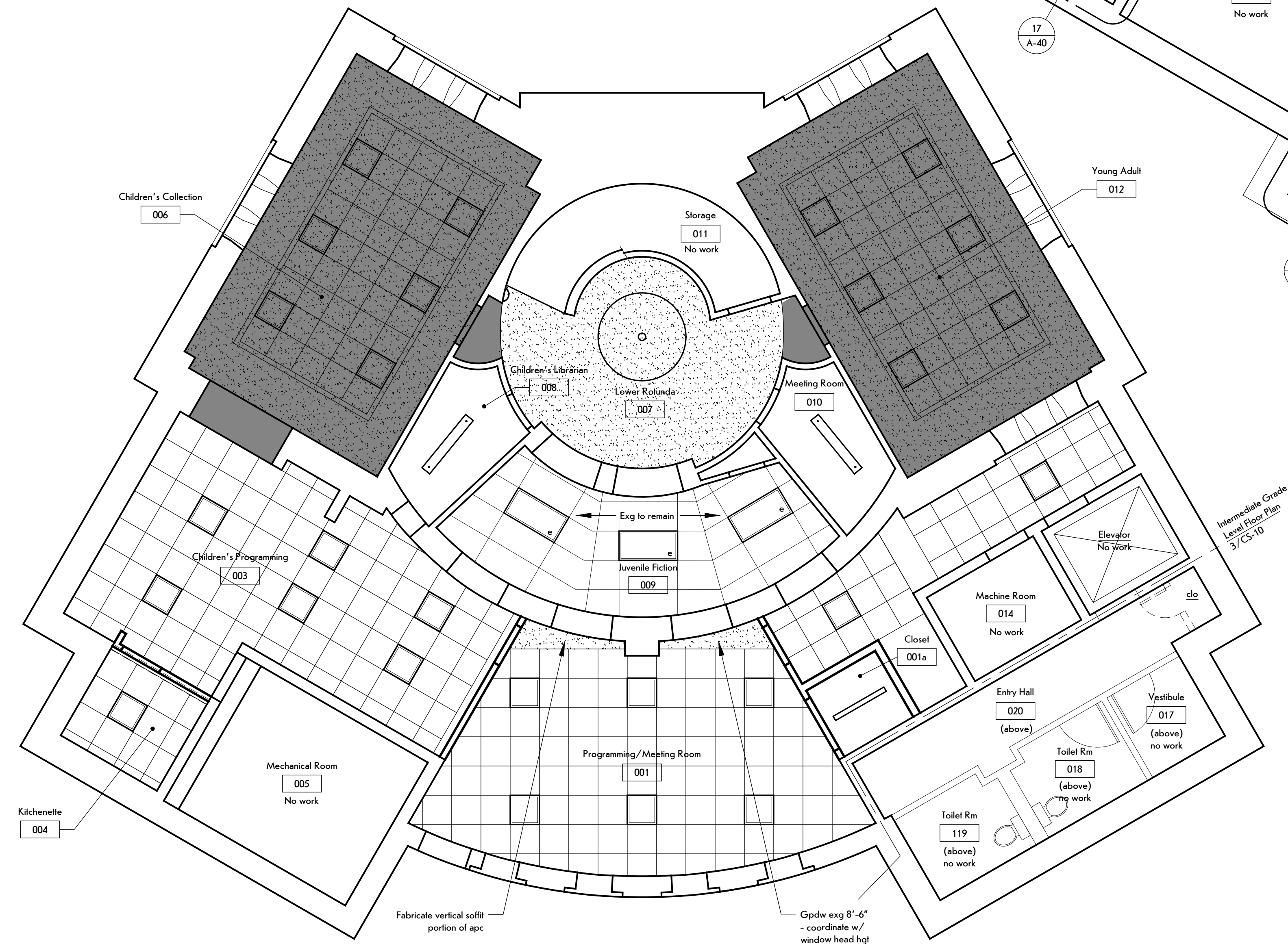
## LIGHTING TYPES

For reference only, refer to electrical plans



Suspended indirect/direct

Surface mounted strip light

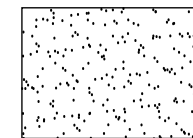
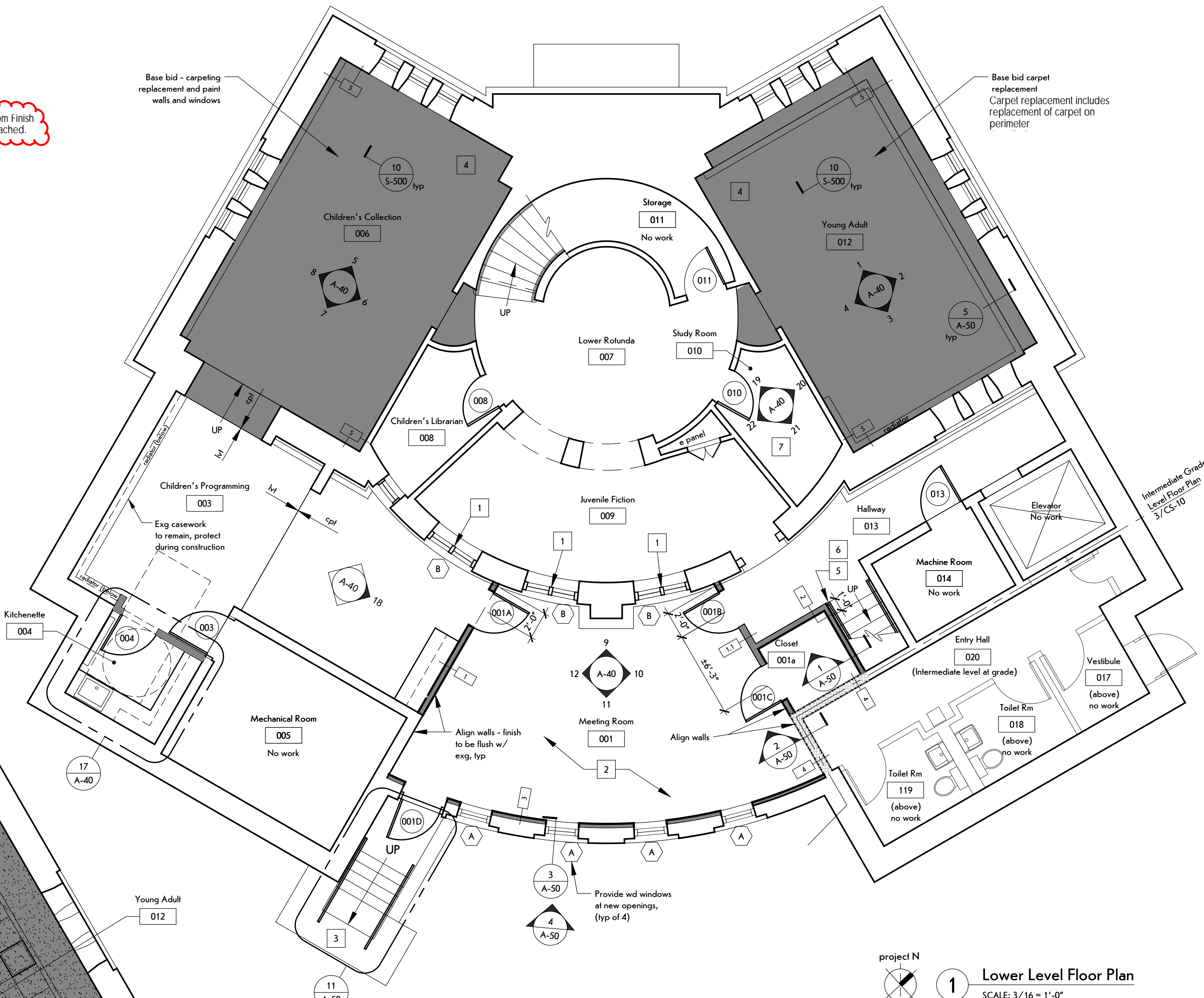
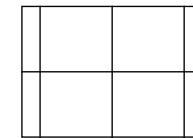
Lower Level  
Reflected Ceiling Plan

SCALE: 3/16" = 1'-0"

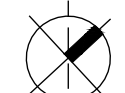
## REFLECTED CEILING PLAN NOTES:

- Power and lighting is the responsibility of the Electrical Contractor.
- Paint all new or existing exposed surfaces except SAT, prefinished items, or woodwork scheduled to be stained.
- Coord. location of fire safety lights & devices - locate only after architects approval.

## CEILING FINISH LEGEND

Gypsum Drywall  
(gpdw)Suspended  
Acoustical Panel  
Ceiling (apc)

project N



## Lower Level Floor Plan

SCALE: 3/16" = 1'-0"

## KEY:

Indicates new wall

Indicates exg wall

Indicates new cmu wall

Indicates furniture- n.i.c.- for reference only

Indicates extent of Alternate No. 1 &amp; 6

## WORK NOTES:

- Provide glazing at exg (interior) windows, prep and paint exg window frames.
- GC provide trenching and patching of exg conc floor, coord locations with Electrical contractor.
- Provide pipe and tube handrail at exg, exterior, stair.
- Base bid - GC Carefully remove paneling and provide access for ductwork and wall diffuser, coord with Mechanical contract. Reinstall paneling, patch and paint to match exg.
- Provide pipe and tube handrail to match exg, at new wall at stair between Entry Hall 020 and Hallway 013.
- Provide rubber stair treads at exg stair.
- Patch plaster wall cracking, Study Room 010.

## WORK NOTES - ALTERNATES NO. 1 &amp; NO. 6

Alternate No. 1:  
Provide wall finish and ceilings.  
Provide gpdw ceiling and gpdw laminated wall system.  
Provide suspended acoustical tile panel system,

Alternate No. 6:  
Provide concrete slab.

## ALTERNATES:

- Alternate No. 1: Renovation of Children's Collection 006 and Young Adult 012.
- Alternate No. 2: Acoustical, hung panel ceiling above Circulation Desk.
- Alternate No. 3: Upper Rotunda carpet flooring medallion. Provide enhanced painting scheme at Upper and Lower Levels.
- Alternate No. 4: Extend cooling system.
- Alternate No. 5: Allie access.
- Alternate No. 6: Provide concrete slab in Children's Collection 006 and Young Adult 012.



**bero**  
ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | www.beroarchitecture.com



© 2025 Bero Architecture PLLC

## STRUCTURAL ENGINEER:



1653 East Main Street  
Rochester, NY 14609

## MEP/FP ENGINEER:



315 Rockingham Street  
Rochester, NY 14620

## WARNINGS:

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.

FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE 16, PART 69.5(B) OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THE DRAWING, IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY", AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.

WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFOR. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

## REVISIONS:

#	Date	Description

## CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

## PROJECT INFORMATION:

Expansion and Renovation  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22121

ISSUE DATE: April 25, 2025

DRAWN BY: LMY / TTN

## SHEET TITLE:

Lower Level  
Floor Plan &  
Reflected Ceiling Plan

## SHEET NUMBER:

**A-10**



ROOM FINISH SCHEDULE - BASE BID												
ROOM		FLOORING				WALLS		CEILING			NOTES	GENERAL NOTES
NO.	NAME	FLOOR		BASE								
		MAT'L	FC	MAT'L	FC	MAT'L	FC	MAT'L	FC	HGHT.		
001	Meeting Room	cpt-1	-	rbr	-	e gpdw/ gpdw	pnt-2	apc	-	8'-1"	-	1. Repair & refinish disturbed areas. 2. Paint all exg & new exposed elements in areas receiving work including, but not limited to walls, ceilings, utilities, ducts, conduit.
002	not used	-	-	-	-	-	-	-	-	-	-	
003	Children's Programming	cpt-1 / lvt-1	-	rbr	-	e gpdw	pnt-2	apc	-	8'-0"	-	
004	Kitchenette	lvt-1	-	rbr	-	e gpdw	pnt-2	apc	-	8'-0"	-	NOTES  1. Base bid includes carpet flooring only. 2. Install carpet over existing, asbestos containing flooring. 3. Base bid, prep and paint exg window. 4. Laminate gpdw to exg plaster ceiling. 5. Base bid, do not paint Young Adult room. Alternate No. 1: Prep and paint walls. 6. Alternate No. 1: replace ceiling. 7. Paint wainscot pnt-3.
006	Children's Collection	cpt-1	-	wd	pnt-3	gpdw	pnt-2	apc/gpdw	-/pnt-3	7'-0"/8'-6"	(1) (3) (6)	
007	Lower Rotunda	cpt-1	-	wd	pnt-3	e plas	pnt-1	gpdw	pnt-3	9'-0"	(4) (8)	
008	Children's Librarian	cpt-1	-	e wd	pnt-3	e plas	pnt-2	e plas	pnt-3	9'-0"	-	
009	Juvenile Fiction	cpt-1	-	rbr	-	e gpdw	pnt-2	e apc	-	6'-4 1/2"	-	
010	Study Room	cpt-1	-	e wd	pnt-3	e plas	pnt-2	e plas	pnt-3	9'-0"	(2)	
012	Young Adult	cpt-1	-	wd	pnt-3	e wd	-	apc/gpdw	-/pnt-3	7'-0"/8'-6"	(1) (3) (5) (6)	
013	Hallway	cpt-1	-	rbr	-	e gpdw	pnt-2	apc	-	8'-0"	-	
015	Storage	cpt-1	-	rbr	-	gpdw	pnt-2	-	-	-	-	
020	Entry Hall	e vct	-	e rbr	-	e gpdw	pnt-2	-	-	-	-	

GENERAL NOTES

1. Repair & refinish disturbed areas.
2. Paint all exg & new exposed elements in areas receiving work including, but not limited to walls, ceilings, utilities, ducts, conduit.

NOTES

1. Base bid includes carpet flooring only.
2. Install carpet over existing, asbestos containing flooring.
3. Base bid, prep and paint exg window.
4. Laminate gpdw to exg plaster ceiling.
5. Base bid, do not paint Young Adult room. Alternate No. 1: Prep and paint walls.
6. Alternate No. 1: replace ceiling.
7. Paint wainscot pnt-3.

ROOM FINISH SCHEDULE - ALTERNATE 3												
ROOM		FLOORING				WALLS		CEILING			NOTES	GENERAL NOTES
NO.	NAME	FLOOR		BASE								
		MAT'L	FC	MAT'L	FC	MAT'L	FC	MAT'L	FC	HGHT.		
001	Meeting Room	cpt-1	-	rbr	-	e gpdw/ gpdw	pnt-2	apc	-	8'-1"	-	1. Repair & refinish disturbed areas. 2. Paint all exg & new exposed elements in areas receiving work including, but not limited to walls, ceilings, utilities, ducts, conduit.
002	not used	-	-	-	-	-	-	-	-	-	-	
003	Children's Programming	cpt-1 / lvt-1	-	rbr	-	e gpdw	pnt-2	apc	-	8'-0"	-	
004	Kitchenette	lvt-1	-	rbr	-	e gpdw	pnt-2	apc	-	8'-0"	-	NOTES  1. Base bid includes carpet flooring only. 2. Install carpet over existing, asbestos containing flooring. 3. Base bid, prep and paint exg window. 4. Laminate gpdw to exg plaster ceiling. 5. Base bid, do not paint Young Adult room. Alternate No. 1: Prep and paint walls. 6. Alternate No. 1: replace ceiling. 7. Paint wainscot pnt-8.
006	Children's Collection	cpt-1	-	wd	pnt-7	gpdw	pnt-2	apc/gpdw	-/pnt-7	7'-0"/8'-6"	(1) (3) (6)	
007	Lower Rotunda	cpt-1	-	wd	pnt-8	e plas	pnt-1	gpdw	pnt-2	9'-0"	(4) (8)	
008	Children's Librarian	cpt-1	-	e wd	pnt-7	e plas	pnt-2	e plas	pnt-7	9'-0"	-	
009	Juvenile Fiction	cpt-1	-	rbr	-	e gpdw	pnt-2	e apc	-	6'-4 1/2"	-	
010	Study Room	cpt-1	-	e wd	pnt-7	e plas	pnt-2	e plas	pnt-7	9'-0"	(2)	
012	Young Adult	cpt-1	-	wd	pnt-7	e wd	-	apc/gpdw	-/pnt-7	7'-0"/8'-6"	(1) (3) (5) (6)	
013	Hallway	cpt-1	-	rbr	-	e gpdw	pnt-2	apc	-	8'-0"	-	
015	Storage	cpt-1	-	rbr	-	gpdw	pnt-2	-	-	-	-	
020	Entry Hall	e vct	-	e rbr	-	e gpdw	pnt-2	-	-	-	-	

GENERAL NOTES

1. Repair & refinish disturbed areas.
2. Paint all exg & new exposed elements in areas receiving work including, but not limited to walls, ceilings, utilities, ducts, conduit.

NOTES

1. Base bid includes carpet flooring only.
2. Install carpet over existing, asbestos containing flooring.
3. Base bid, prep and paint exg window.
4. Laminate gpdw to exg plaster ceiling.
5. Base bid, do not paint Young Adult room. Alternate No. 1: Prep and paint walls.
6. Alternate No. 1: replace ceiling.
7. Paint wainscot pnt-8.



**bero**  
ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | [www.beroarchitecture.com](http://www.beroarchitecture.com)

STAMP:

© 2025 Bero Architecture PLLC

CLIENT / OWNER:

Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

PROJECT INFORMATION:

Expansion and Renovation  
Warsaw Public Library  
130 North Main Street, Warsaw, NY

PROJECT #: 22121

ISSUE DATE: June 13, 2025

DRAWN BY: TTN

SCALE: N/A

SHEET TITLE:

Lower Level Room  
Finish Schedule

SHEET NUMBER:

**A-10**  
Addendum #2

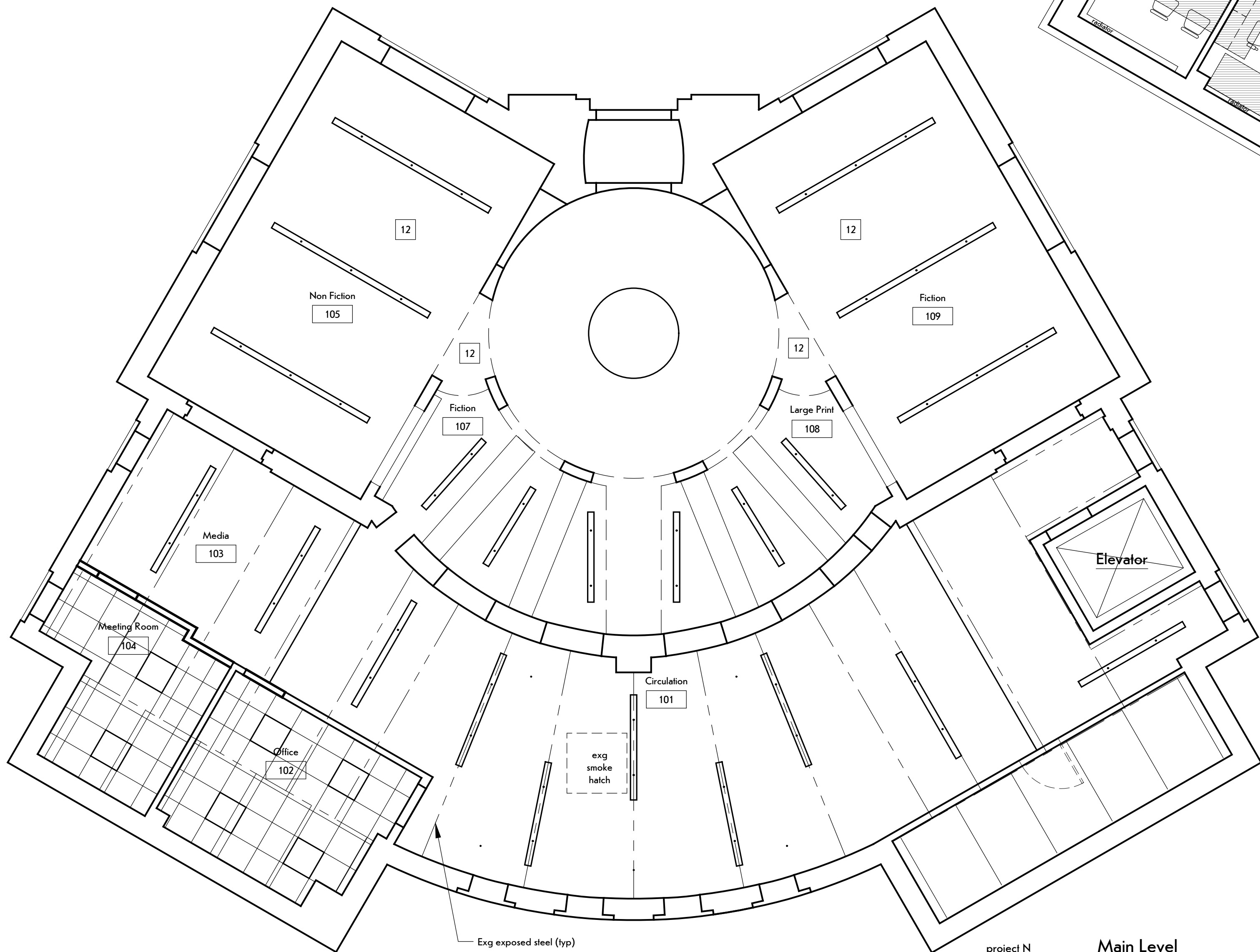


ROOM FINISH SCHEDULE											
ROOM		FLOORING				WALLS		CEILING			NOTES
		MAT'L	FC	MAT'L	FC			MAT'L	FC	HGHT.	
101	Circulation	cpl	-	rbr	-	e gpdw	pntl	e structure	-	-	
102	Office	cpl	-	rbr	-	e gpdw/ gpdw	pntl	apc	-	7'-11 1/2"	
103	Media	cpl	-	rbr	-	e gpdw	pntl	e structure	-	-	
104	Meeting Room	cpl	-	rbr	-	e gpdw/ gpdw	pntl	apc	-	-	
105	Non Fiction	cpl	-	rbr	-	e tile	-	e gpdw	pntl	11'-10"	(1) (2)
106	Upper Rotunda	cpl	-	e wd	pntl	e gpdw	pntl	e gpdw	pntl	13'-10 1/2"	(2) (3) (5)
107	Fiction	cpl	-	e wd	pntl	e gpdw	pntl	e bdbd	-	6'-6 1/2"	(2)
108	Large Print	cpl	-	e wd	pntl	e gpdw	pntl	e bdbd	-	6'-6 1/2"	(2)
109	Fiction	cpl	-	rbr	-	e gpdw*	pntl	e tile	-	11'-10"	(1) (2)
110	Vestibule	wd	ref	wd	pntl	e plas	pntl	e plas	pntl	-	*Prov jt compound & fin @ exg gpdw "v" jts.
111	Hallway	cpl	-	rbr	-	e gpdw	pntl	-	-	-	(4) (6)
112	Upper Landing	cpl	-	rbr	-	e gpdw	pntl	-	-	-	(4)
GENERAL NOTES								NOTES			
1. Repair & refinish disturbed areas. 2. Paint all exg & new exposed elements in areas receiving work including, but not limited to walls, ceilings, utilities, doors, conduit.								1. Provide jt compound & fin @ exg gpdw "v" jts. 2. Patch gpdw at vert wd removals. 3. Remove abandoned ceiling ac outlets and patch. 4. Provide rubber stair treads at exg stair. 5. Remove wallpaper and prep walls for paint. 6. Paint exg and new handrails.			

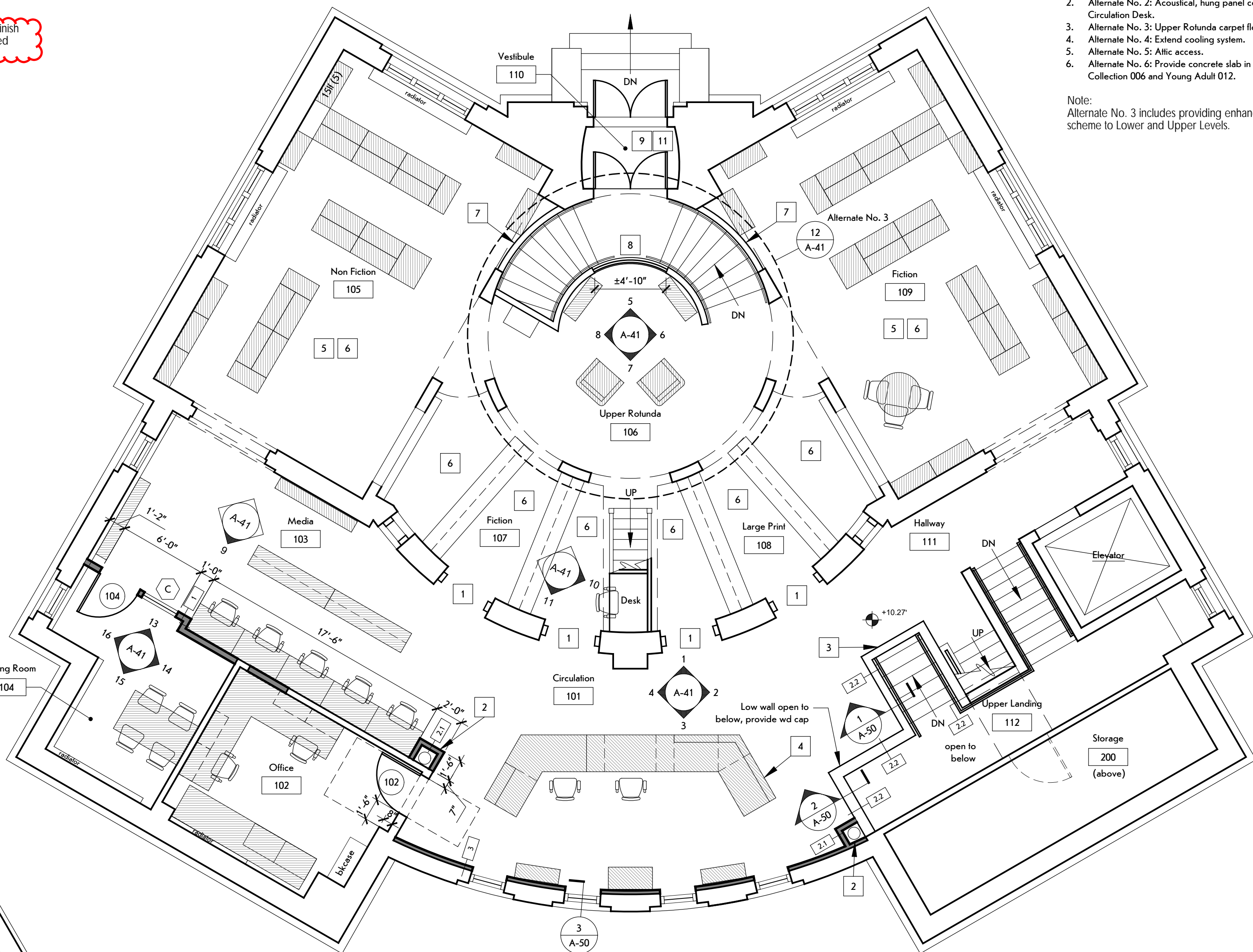
Refer to Room Finish Schedule attached

FINISH KEY:	
e	Existing
apc	Acoustical panel ceiling
bdbd	Beadboard
cpl	Carpet
cmu	Concrete masonry unit
gpdw	Gypsum drywall
lvt	Luxury vinyl tile
plas	Plaster
pntl	Paint
pol	Polished (concrete)
ref	Refinish
rbr	Rubber
stn	Stain and Clear Finish
vct	Vinyl Composite Tile
wd	Wood

LIGHTING TYPES	
For reference only, refer to electrical plans	
	Flat panel
	Suspended indirect/direct
	Low-profile linear fixture
	(Alternate 2) Recessed downlight
	(Alternate 2) Round pendant
	Surface mounted strip light



project N  
2  
Main Level Reflected Ceiling Plan  
SCALE: 3/16" = 1'-0"

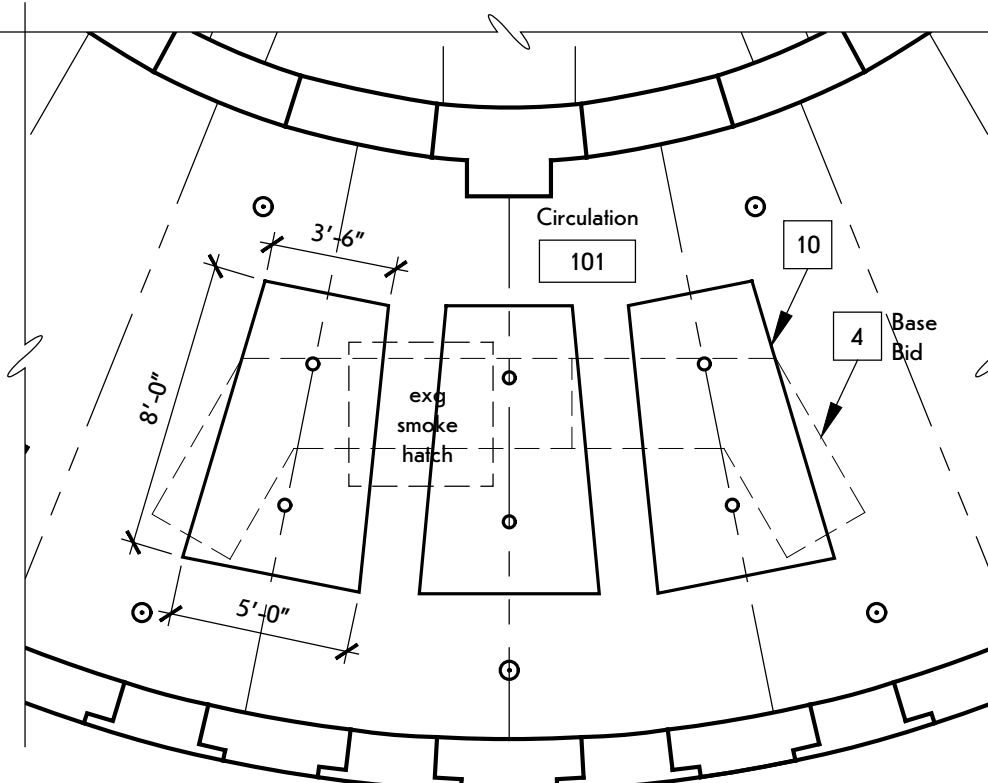


#### CEILING FINISH LEGEND

Gypsum Drywall (gpdw)	
Suspended Acoustical Panel Ceiling (apc)	

#### REFLECTED CEILING PLAN GENERAL NOTES:

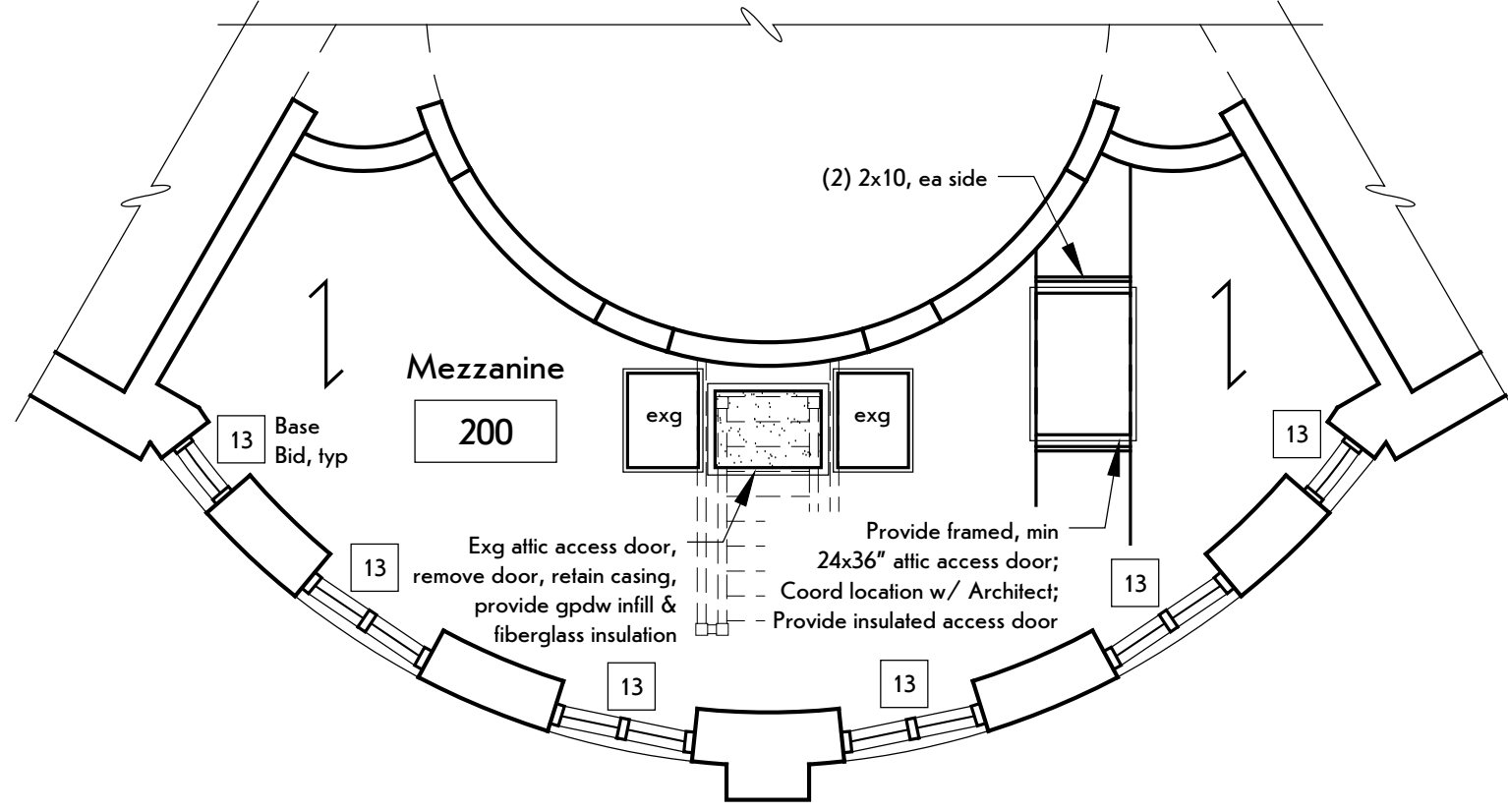
- Power and lighting is the responsibility of the Electrical Contractor.
- Paint all new or existing exposed surfaces except SAT, prefinished items, or woodwork scheduled to stained.
- Coord. location of fire safety lights & devices - locate only after architects approval.



project N  
3  
Alternate No. 2: Partial Main Level RCP  
SCALE: 3/16" = 1'-0"

#### FLOOR PLAN AND RCP WORK NOTES:

- Remove wood sash and misc portion of exg windows to provide access to stacks. Refer to 1/A-41.
- GC provide openings in conc slab for ductwork penetrations.
- Provide low wall, refer to 1 & 2/A-50.
- Circulation desk is by Others, coordinate power with Owner's separate contractor.
- Provide joint compound and finish at existing gpdw "v" joints, rooms 105 and 109.
- Fill holes and repair walls to smooth at rooms 105, 106, 107, 108, and 109.
- Provide trim at sill of rotunda interior openings, refer to 5/A-40.
- Open low wall to expose wood guardrail, reconfigure guardrail, repair, and refinish. Refer to 5/A-41.
- Refinish exg wood at Upper Rotunda 106 stair and Vestibule 110.
- Alternate No. 2: Provide acoustical, hung panel ceiling. Coord. installation location with Architect.
- Alternate No. 4: GC to provide openings at each side of Vestibule 110 for installation of ductwork. GC responsible for patching and finishing.
- Sand prep and paint exg clg, at these location.
- Base bid, provide glazing at exg (interior) windows.



project N  
4  
Alternate No. 5 Mezzanine Reflected Ceiling Plan  
SCALE: 3/16" = 1'-0"

#### ALTERNATES:

- Alternate No. 1: Renovation of Children's Collection 006 and Young Adult 012.
- Alternate No. 2: Acoustical, hung panel ceiling above Circulation Desk.
- Alternate No. 3: Upper Rotunda carpet flooring medallion.
- Alternate No. 4: Extend cooling system.
- Alternate No. 5: Attic access.
- Alternate No. 6: Provide concrete slab in Children's Collection 006 and Young Adult 012.

Note:  
Alternate No. 3 includes providing enhanced painting scheme to Lower and Upper Levels.



32 Winthrop Street, Rochester, NY 14607  
(585) 262-2031 | www.beroarchitecture.com



STRUCTURAL ENGINEER:



1653 East Main Street  
Rochester, NY 14609

MEP/FP ENGINEER:



315 Rockingham Street  
Rochester, NY 14620

#### WARNINGS:

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.

FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE VII, PART 69.5(3) OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THIS DRAWING. IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY," AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.

WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFOR. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

#### REVISIONS:

#	Date	Description

#### CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

#### PROJECT INFORMATION:

Expansion and Renovation  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22121

ISSUE DATE: April 25, 2025

DRAWN BY: LMY / TTN

SHEET TITLE:

Main Level  
Floor Plan &  
Reflected Ceiling Plan

SHEET NUMBER:

A-11



ROOM FINISH SCHEDULE - BASE BID												
ROOM		FLOORING				WALLS		CEILING			NOTES	
NO.	NAME	FLOOR		BASE								
		MAT'L	FC	MAT'L	FC							
101	Circulation	cpt-1	-	rbr	-	e gpdw/ e gpdw	pnt-1	e structure	-	-	(8)	GENERAL NOTES  1. Repair & refinish disturbed areas. 2. Paint all exg & new exposed elements in areas receiving work including, but not limited to walls, ceilings, utilities, ducts, conduit.
102	Office	cpt-1	-	rbr	-	e gpdw/ gpdw	pnt-1	apc	-	7'-11 1/2"	-	
103	Media	cpt-1	-	rbr	-	e gpdw	pnt-1	e structure	-	-	-	
104	Meeting Room	cpt-1	-	rbr	-	e gpdw/ gpdw	pnt-1	apc	-	-	-	NOTES  1. Provide jt compound & fin @ exg gpdw "v" jts. 2. Patch gpdw at vert wd removals. 3. Remove abandoned ceiling ac outlets and patch. 4. Provide rubber stair treads at exg stair. 5. Remove wallpaper and prep walls for paint. 6. Paint exg and new handrails. 7. Remove and replace exg cpt from lowest riser at Upper Rotunda 106 to include top nosing and Mezzanine 200 floor level. Mezzanine 200 carpeting to remain in place. 8. Paint exg wd trim at masonry openings pnt-3.
105	Non Fiction	cpt-1	-	rbr	-	e tile	-	e gpdw*	pnt-3	11'-10"	(1) (2)	
106	Upper Rotunda	cpt-1	-	e wd	pnt-3	e gpdw	pnt-1	e gpdw	pnt-3	13'-10 1/2"	(2) (3) (5) (7)	
107	Fiction	cpt-1	-	e wd	pnt-3	e gpdw	pnt-1	e bdbd	-	6'-6 1/2"	(2)	
108	Large Print	cpt-1	-	e wd	pnt-3	e gpdw	pnt-1	e bdbd	-	6'-6 1/2"	(2)	
109	Fiction	cpt-1	-	rbr	-	e gpdw*	pnt-1	e tile	-	11'-10"	(1) (2)	
110	Vestibule	wd	ref	wd	pnt-3	e plas	pnt-1	e plas	pnt-3	-	*Prov jt compound & fin @ exg gpdw "v" jts.	
111	Hallway	cpt-1	-	rbr	-	e gpdw	pnt-1	-	-	-	(4) (6)	
112	Upper Landing	cpt-1	-	rbr	-	e gpdw	pnt-1	-	-	-	(4)	
200	Mezzanine	cpt-1	-	-	-	-	-	-	-	-	(7)	

ROOM FINISH SCHEDULE - ALTERNATE 3												
ROOM		FLOORING				WALLS		CEILING			NOTES	
NO.	NAME	FLOOR		BASE								
		MAT'L	FC	MAT'L	FC							
101	Circulation	cpt-1	-	rbr	-	e gpdw/ e gpdw	pnt-5	e structure	-	-	(8)	GENERAL NOTES  1. Repair & refinish disturbed areas. 2. Paint all exg & new exposed elements in areas receiving work including, but not limited to walls, ceilings, utilities, ducts, conduit.
102	Office	cpt-1	-	rbr	-	e gpdw/ gpdw	pnt-5	apc	-	7'-11 1/2"	-	
103	Media	cpt-1	-	rbr	-	e gpdw	pnt-5	e structure	-	-	-	
104	Meeting Room	cpt-1	-	rbr	-	e gpdw/ gpdw	pnt-5	apc	-	-	-	NOTES  1. Provide jt compound & fin @ exg gpdw "v" jts. 2. Patch gpdw at vert wd removals. 3. Remove abandoned ceiling ac outlets and patch. 4. Provide rubber stair treads at exg stair. 5. Remove wallpaper and prep walls for paint. 6. Paint exg and new handrails pnt-8. 7. Remove and replace exg cpt from lowest riser at Upper Rotunda 106 to include top nosing and Mezzanine 200 floor level. Mezzanine 200 carpeting to remain in place. 8. Paint exg wd trim at masonry openings pnt-6.
105	Non Fiction	cpt-1	-	rbr	-	e tile	-	e gpdw*	pnt-2	11'-10"	(1) (2)	
106	Upper Rotunda	cpt-1	-	e wd	pnt-8	e gpdw	pnt-1	e gpdw	pnt-2	13'-10 1/2"	(2) (3) (5) (7)	
107	Fiction	cpt-1	-	e wd	pnt-8	e gpdw	pnt-4	e bdbd	-	6'-6 1/2"	(2)	
108	Large Print	cpt-1	-	e wd	pnt-8	e gpdw	pnt-4	e bdbd	-	6'-6 1/2"	(2)	
109	Fiction	cpt-1	-	rbr	-	e gpdw*	pnt-4	e tile	-	11'-10"	(1) (2)	
110	Vestibule	wd	ref	wd	pnt-8	e plas	pnt-3	e plas	pnt-1	-	*Prov jt compound & fin @ exg gpdw "v" jts.	
111	Hallway	cpt-1	-	rbr	-	e gpdw	pnt-5	-	-	-	(4) (6)	
112	Upper Landing	cpt-1	-	rbr	-	e gpdw	pnt-5	-	-	-	(4)	
200	Mezzanine	cpt-1	-	-	-	-	-	-	-	-	(7)	



**bero**  
ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | [www.beroarchitecture.com](http://www.beroarchitecture.com)

STAMP:

© 2025 Bero Architecture PLLC

CLIENT / OWNER:

Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

PROJECT INFORMATION:

Expansion and Renovation  
Warsaw Public Library  
130 North Main Street, Warsaw, NY

PROJECT #: 22121

ISSUE DATE: June 13, 2025

DRAWN BY: TTN

SCALE: N/A

SHEET TITLE:

Main Level Room  
Finish Schedule

SHEET NUMBER:

A-11  
Addendum #2



General Wood Casework Notes:

All finish products are to be installed in accordance with contract specifications and manufacturer's instructions. Refer to specifications and details for additional information on installation of specified materials.

1. All countertops to be 1" solid surface.
2. Provide 4" high backsplashes and side at all locations, U.N.O.
3. Provide cabinets with finished sides, including but not limited to, locations of adjacent cabinets or equipment with a depth less than cabinet or equipment.
4. Provide sealant at all countertop sink cutout locations, refer to spec section 079200.
5. Provide cuts at all conditions that interfere with countertops/cabinets: scribe to fit.
6. Provide as noted on drawings and details: 2" grommets at open base counters.
7. Provide blocking at new and existing gypsum board walls per manufacturer recommendations for support of wall mounted units.
8. Provide countertop cut-outs for sinks and faucets, coordinate with all required contractors.
9. All sinks and accessories are as per specification.

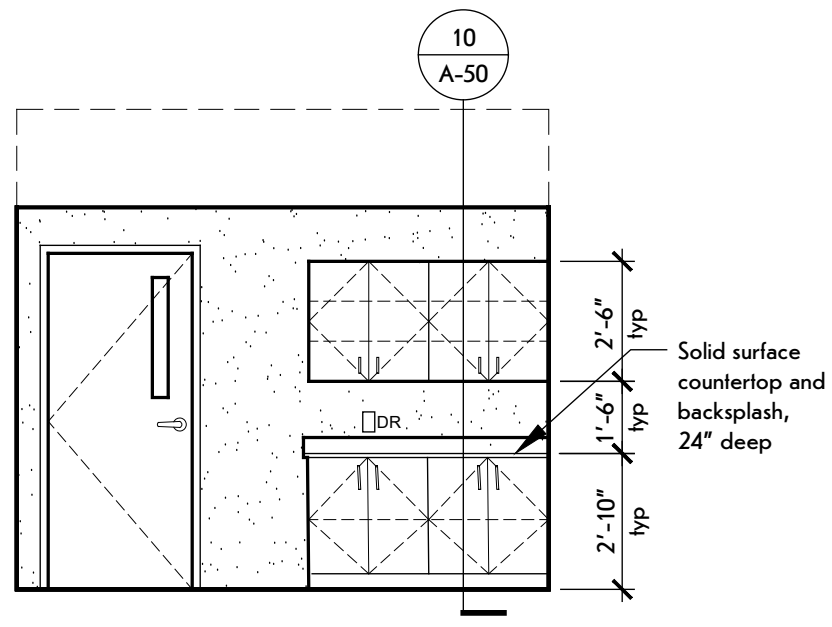
Device Key:

- DR Duplex Receptacle  
□QR Quad Receptacle

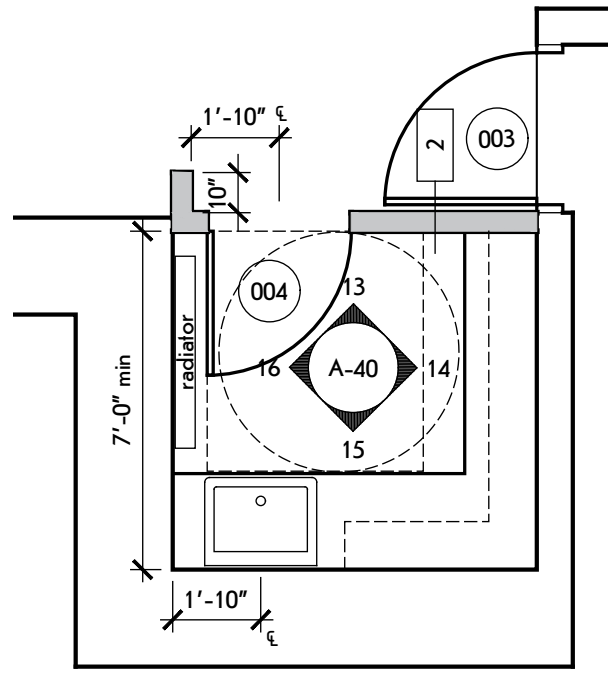
Note: Refer to MEP drawings to confirm type and quantity.

General Notes:

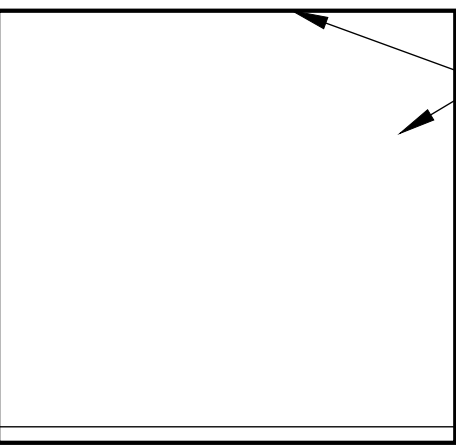
Repair and patch exg gpdw at any wall damaged during construction.



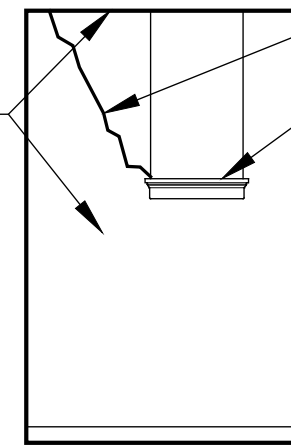
Children's Programming 003  
East Elevation  
SCALE: 1/4" = 1'-0"



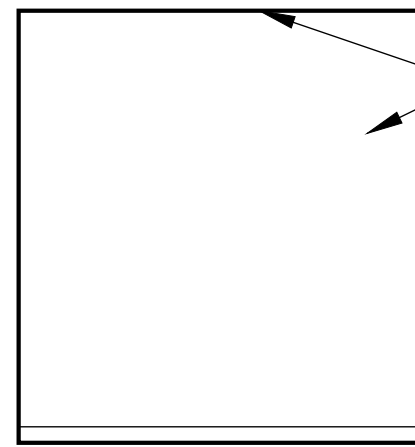
Kitchenette 004  
Enlarged Floor Plan  
SCALE: 1/4" = 1'-0"



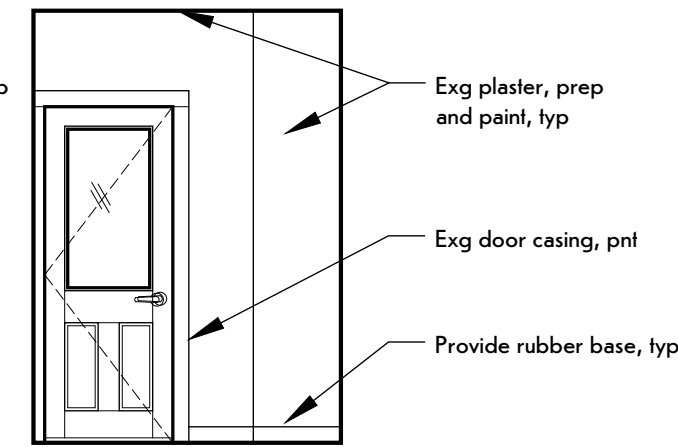
Meeting Room 010  
West Elevation  
SCALE: 1/4" = 1'-0"



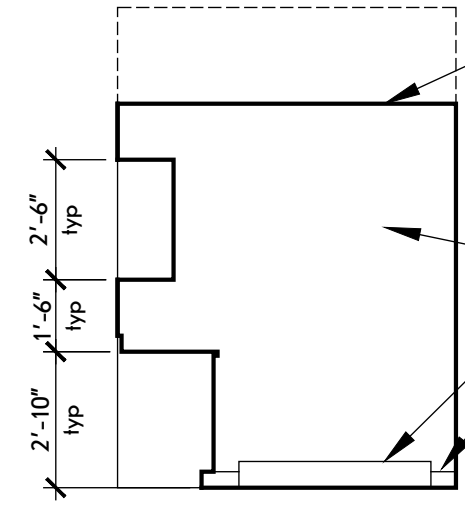
Meeting Room 010  
South Elevation  
SCALE: 1/4" = 1'-0"



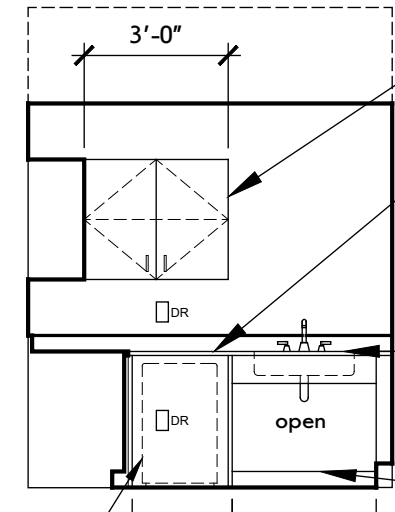
Meeting Room 010  
East Elevation  
SCALE: 1/4" = 1'-0"



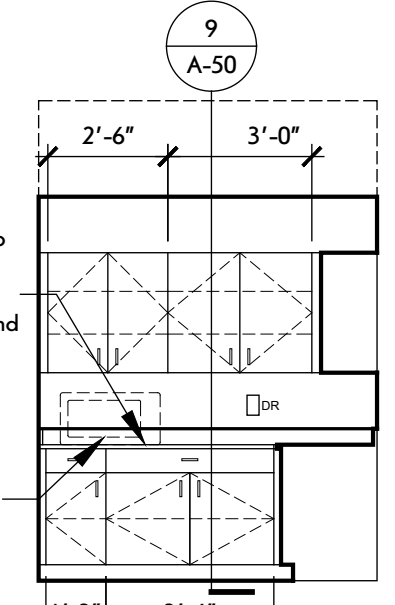
Meeting Room 010  
North Elevation  
SCALE: 1/4" = 1'-0"



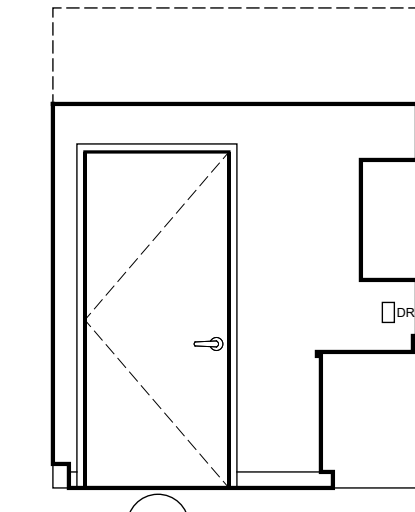
Kitchenette 004  
North Elevation  
SCALE: 1/4" = 1'-0"



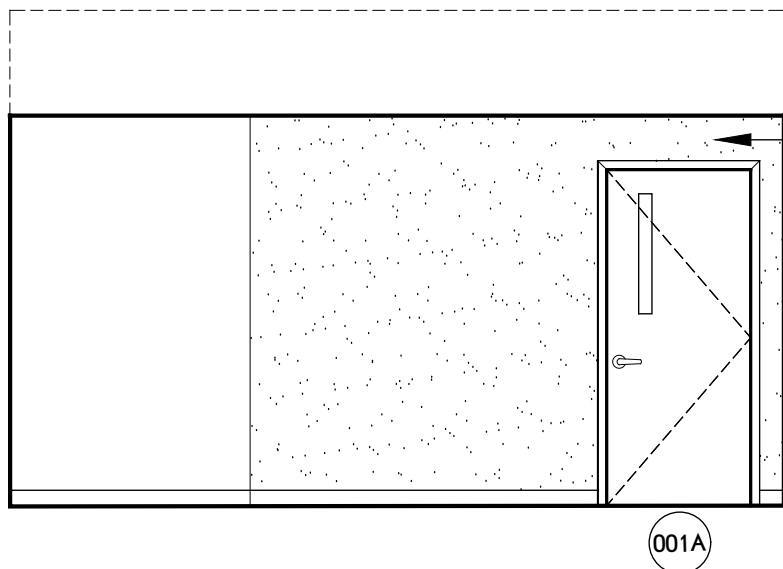
Kitchenette 004  
West Elevation  
SCALE: 1/4" = 1'-0"



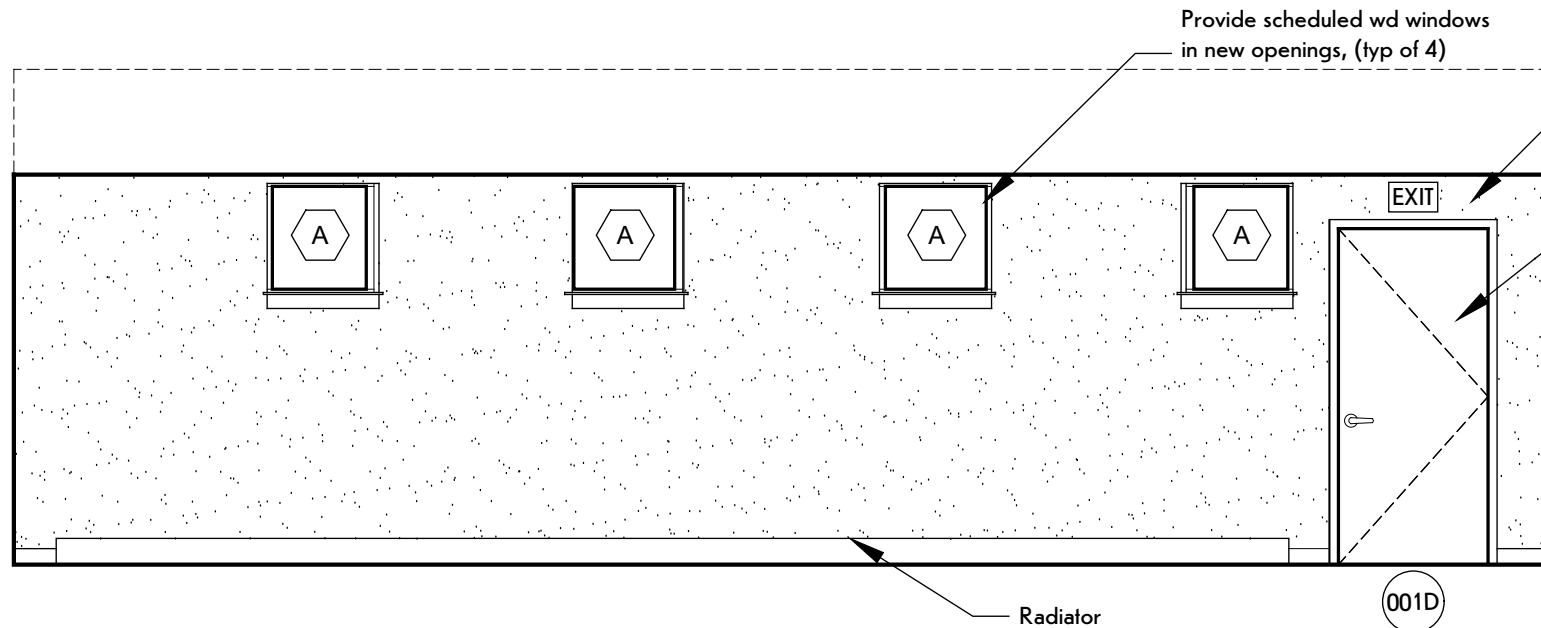
Kitchenette 004  
South Elevation  
SCALE: 1/4" = 1'-0"



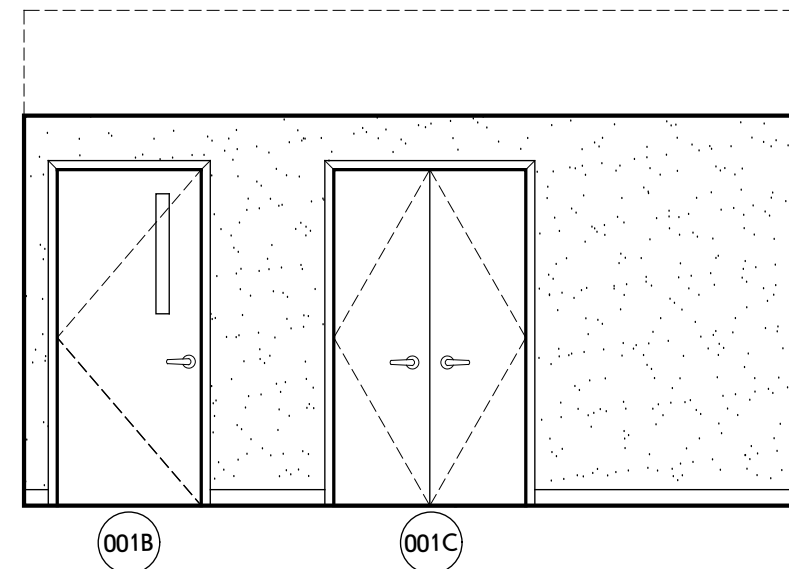
Kitchenette 004  
East Elevation  
SCALE: 1/4" = 1'-0"



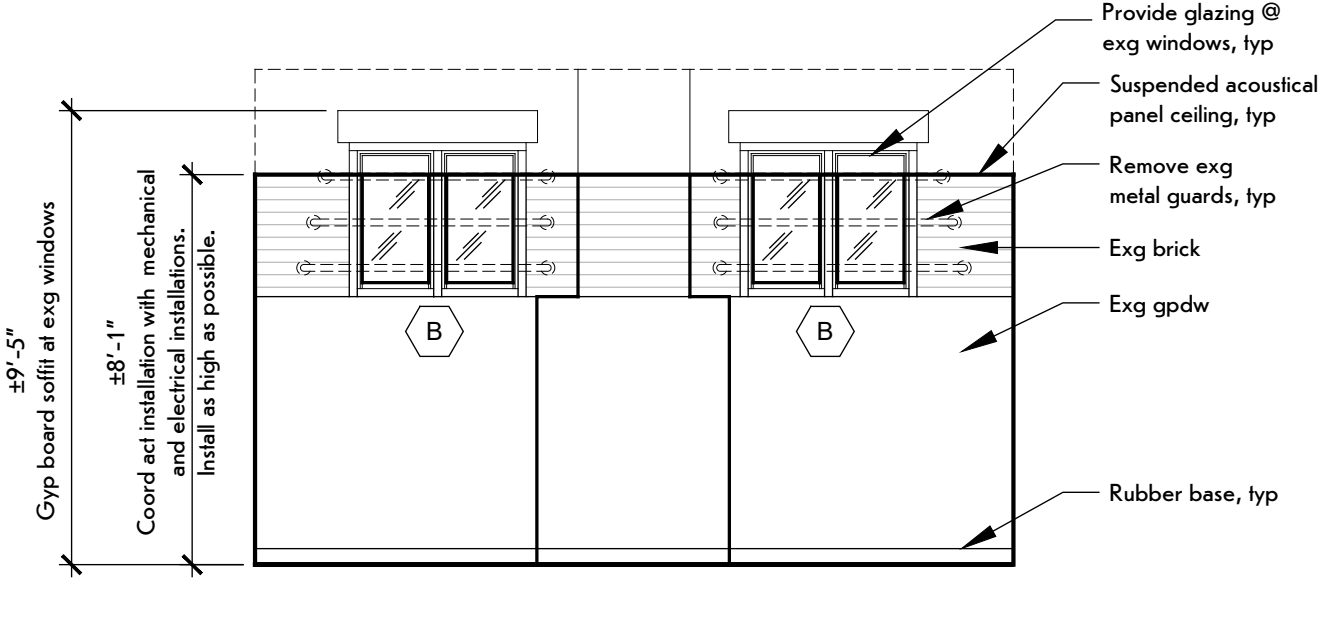
Meeting Room 001  
West Elevation  
SCALE: 1/4" = 1'-0"



Programming/Meeting Room 001  
South Elevation  
SCALE: 1/4" = 1'-0"

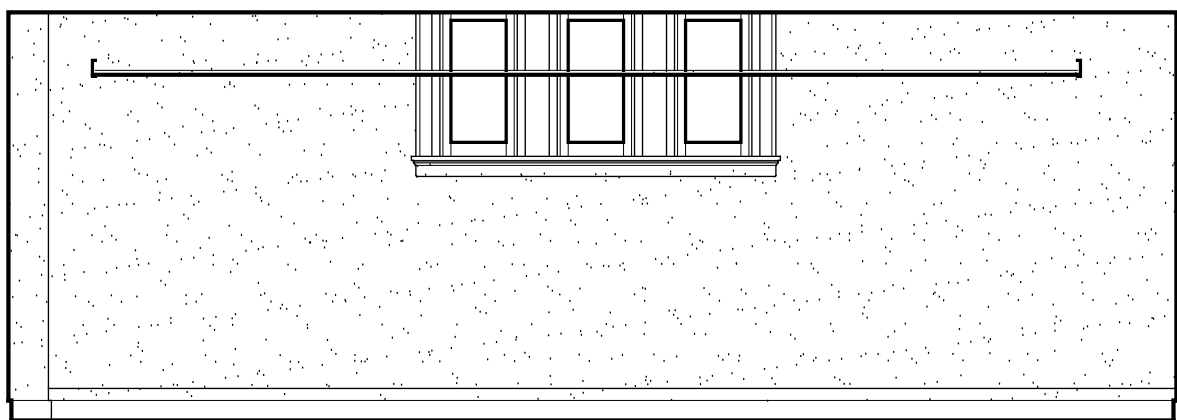


Meeting Room 001  
East Elevation  
SCALE: 1/4" = 1'-0"

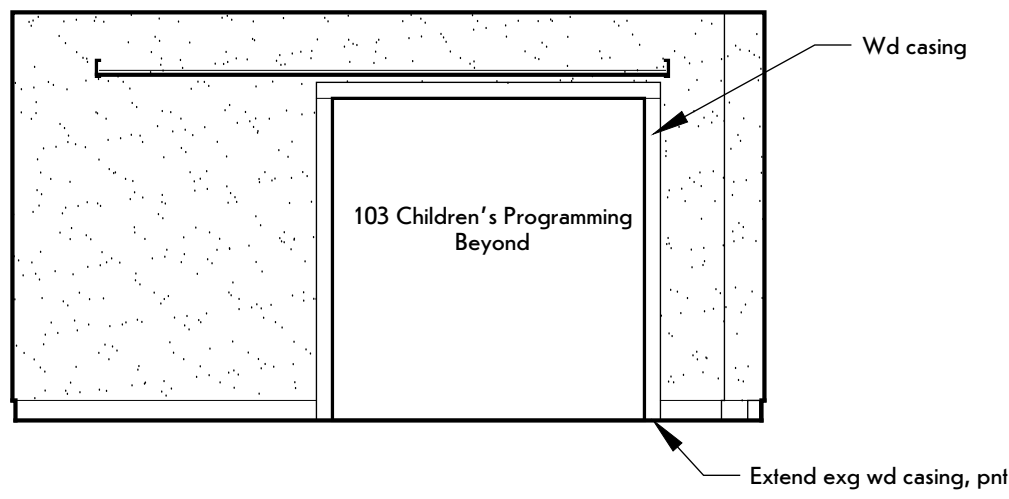


Meeting Room 001  
North Elevation  
SCALE: 1/4" = 1'-0"

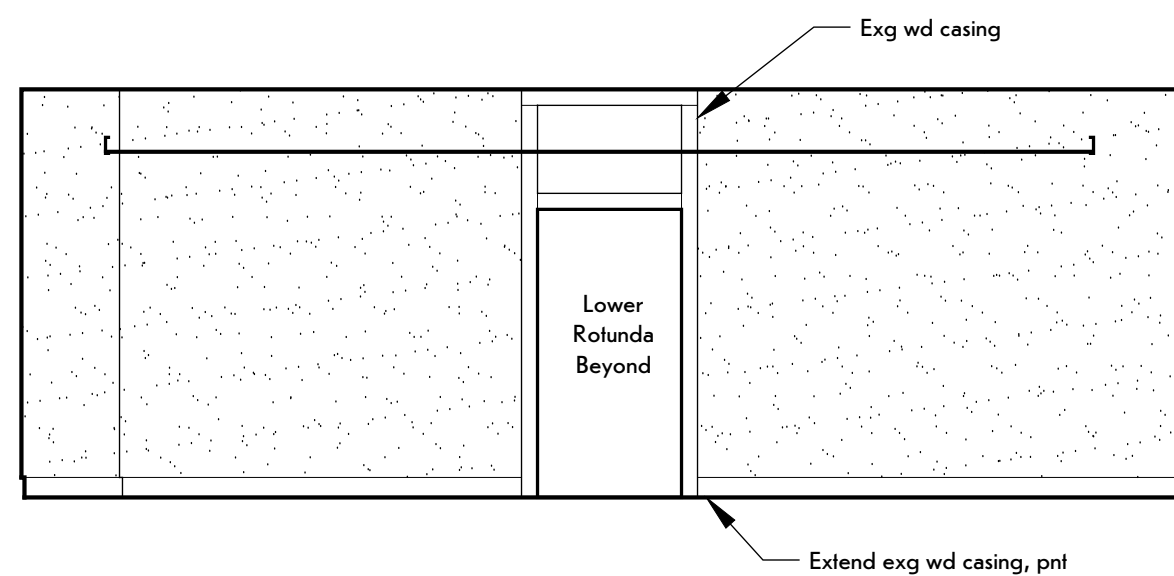
ALTERNATE NO. 1



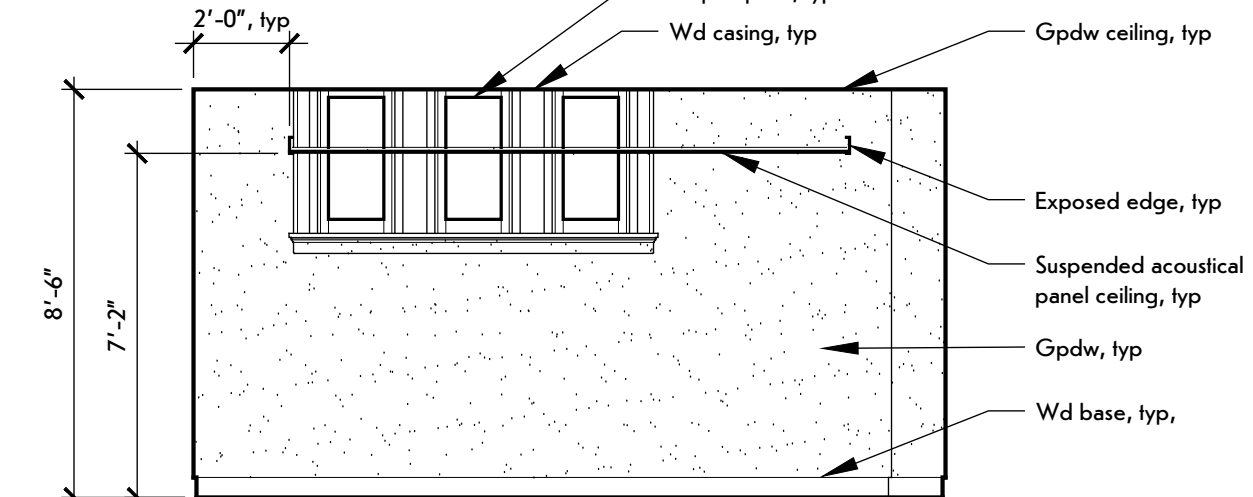
Children's Collection 006  
West Elevation  
SCALE: 1/4" = 1'-0"



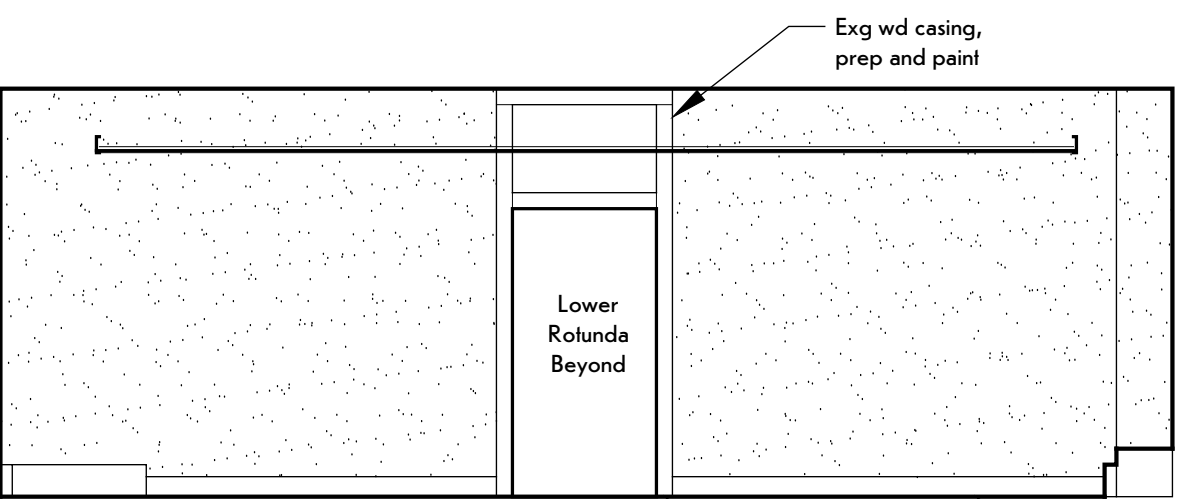
Children's Collection 006  
South Elevation  
SCALE: 1/4" = 1'-0"



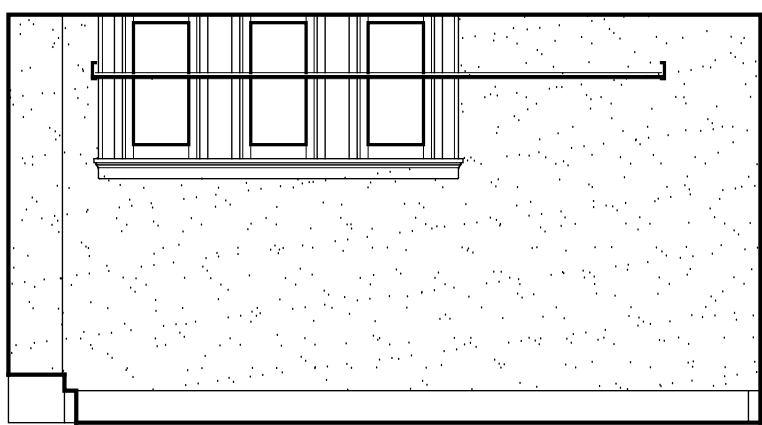
Children's Collection 006  
East Elevation  
SCALE: 1/4" = 1'-0"



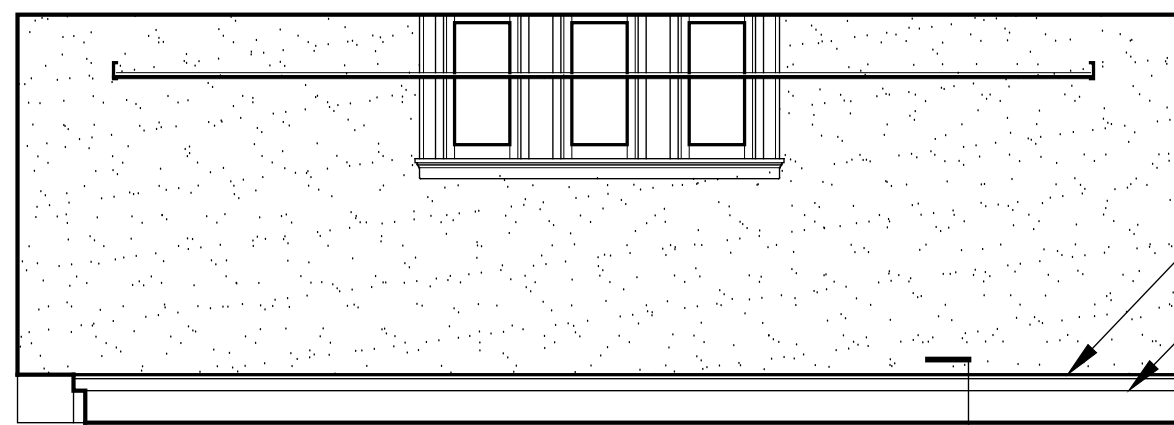
Children's Collection 006  
North Elevation  
SCALE: 1/4" = 1'-0"



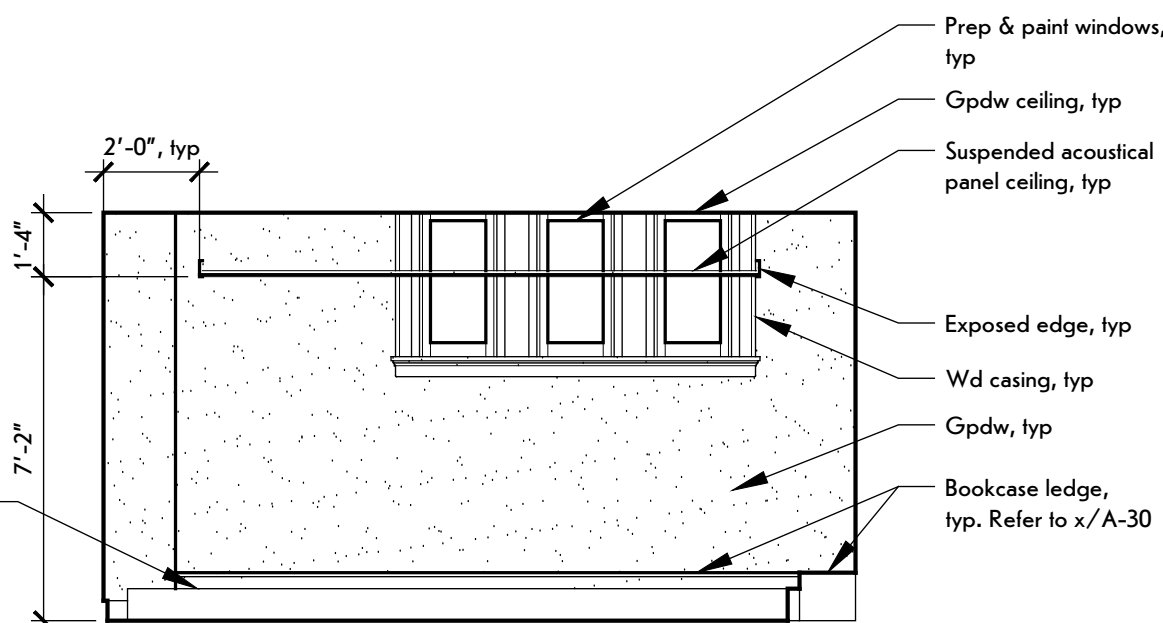
Young Adult 012  
West Elevation  
SCALE: 1/4" = 1'-0"



Young Adult 012  
South Elevation  
SCALE: 1/4" = 1'-0"



Young Adult 012  
East Elevation  
SCALE: 1/4" = 1'-0"



Young Adult 012  
North Elevation  
SCALE: 1/4" = 1'-0"



**bero**  
ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | www.beroarchitecture.com



STRUCTURAL ENGINEER:



1653 East Main Street  
Rochester, NY 14609

MEP/FP ENGINEER:



315 Rockingham Street  
Rochester, NY 14620

**WARNING:**  
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE, PLLC, ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.

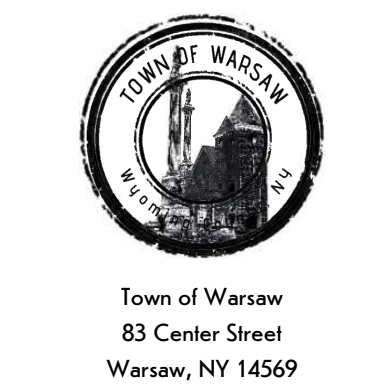
FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE VII, PART 69.5(B) OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THIS DRAWING, IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY", AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.

WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFOR. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

REVISIONS:

#	Date	Description

CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

PROJECT INFORMATION:  
Expansion and Renovation  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22121

ISSUE DATE: April 25, 2025

DRAWN BY: LMY / TTN

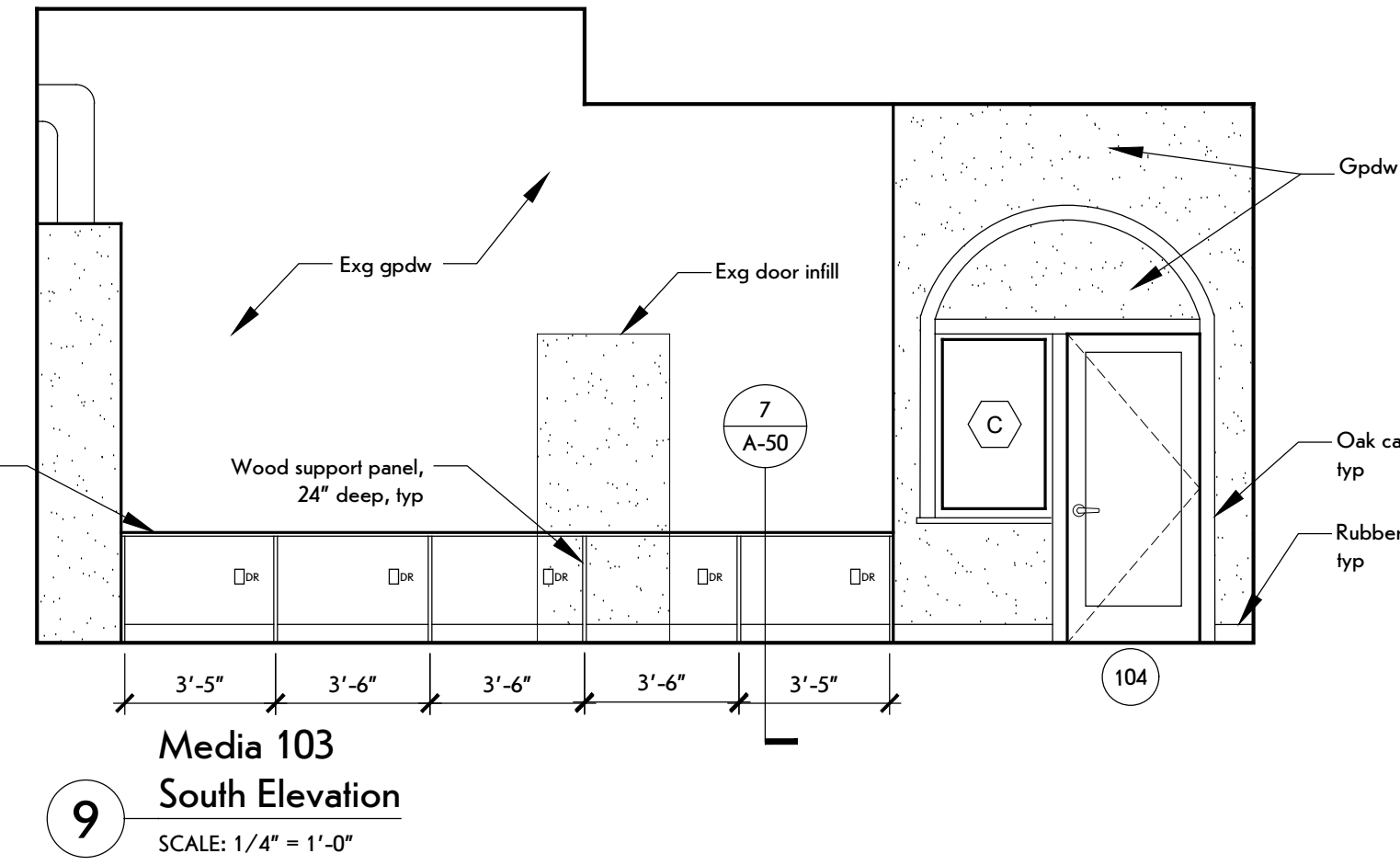
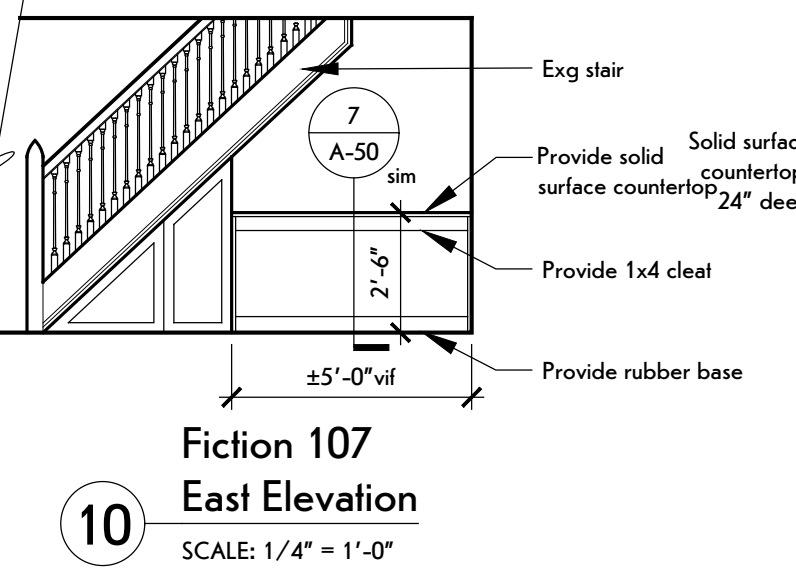
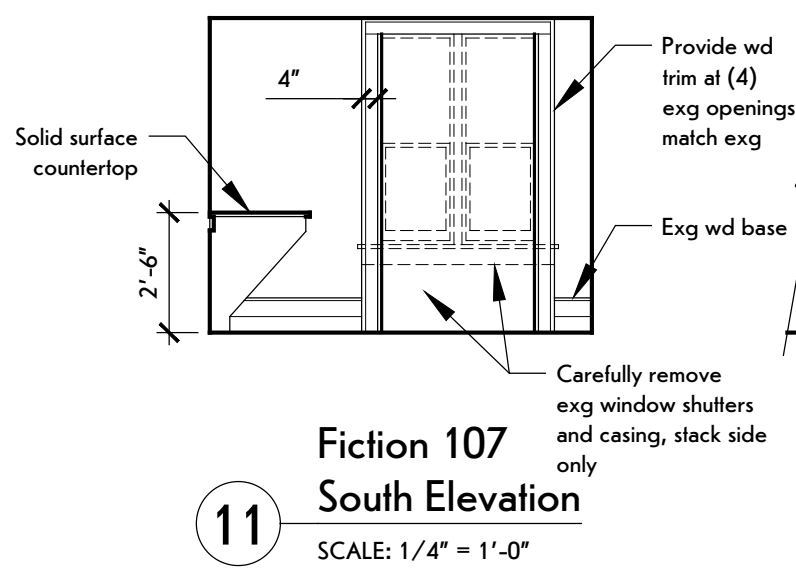
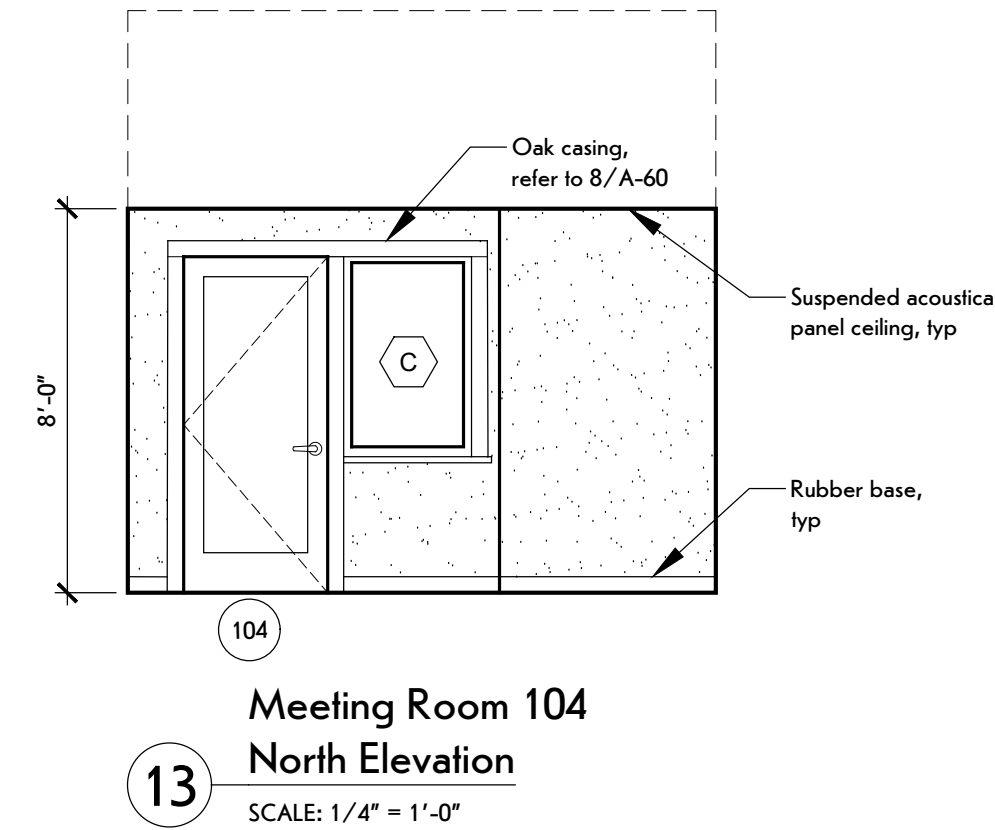
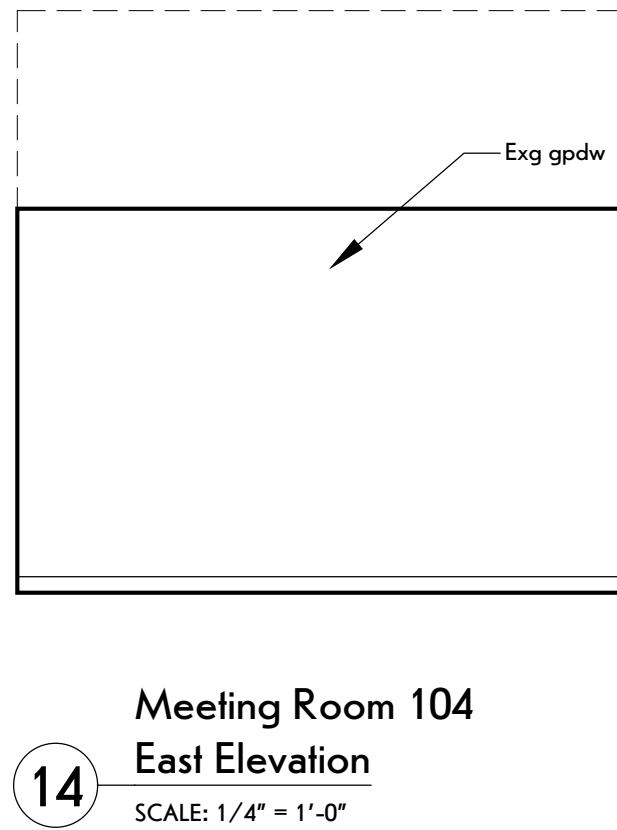
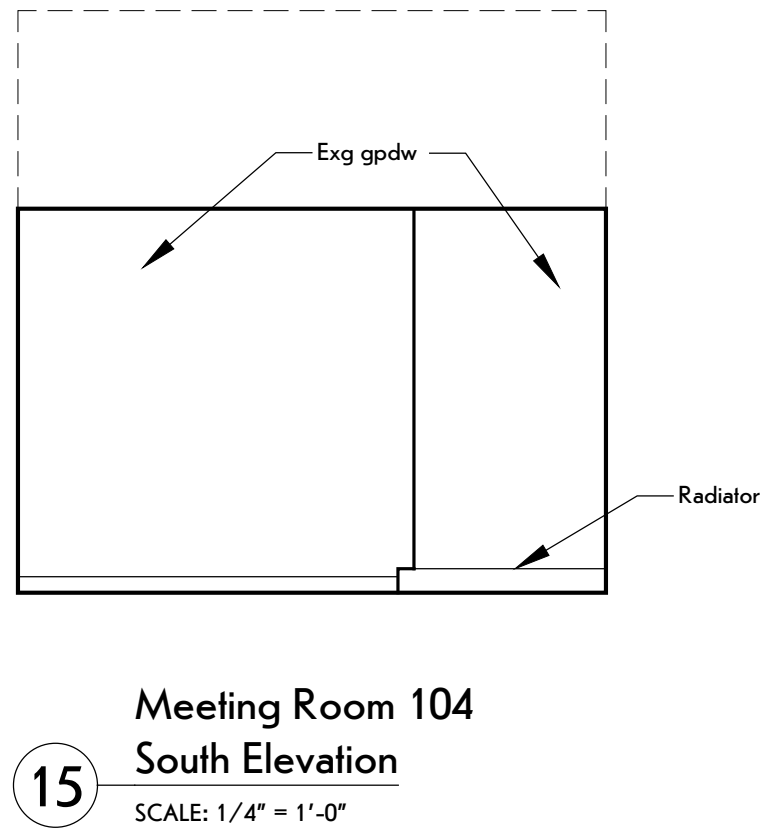
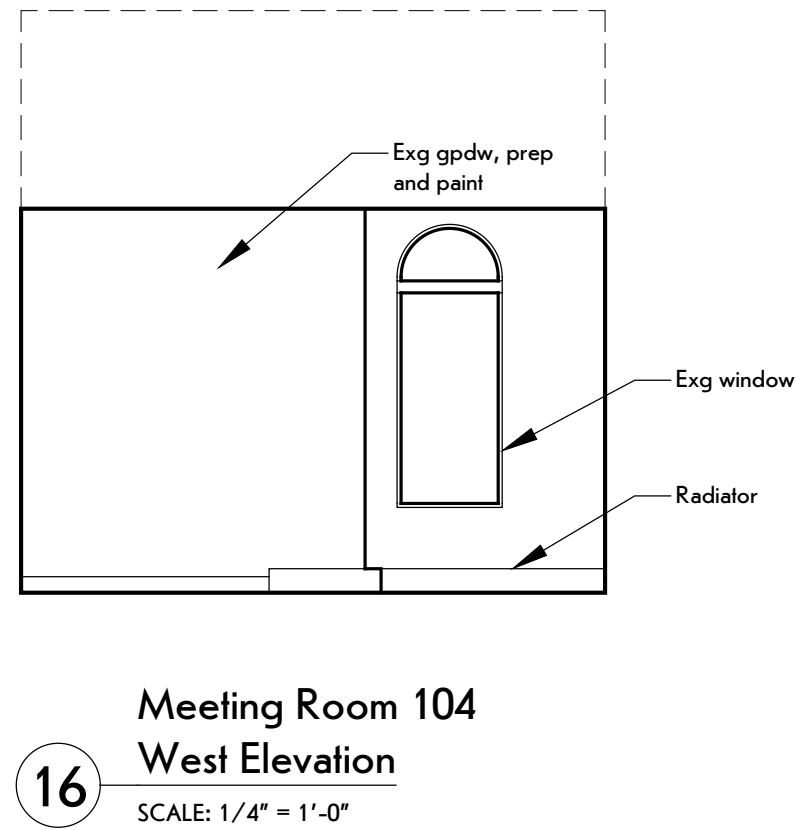
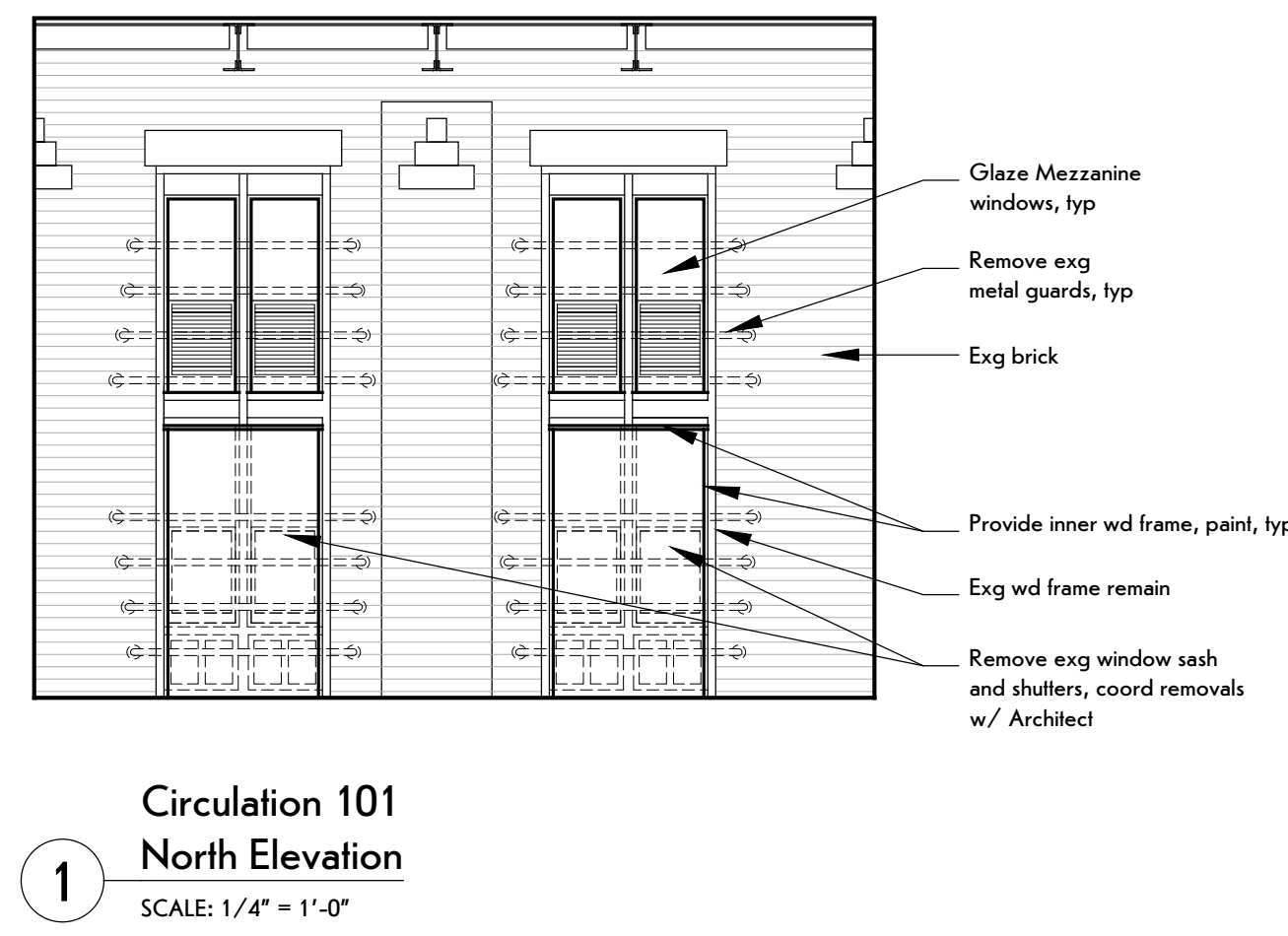
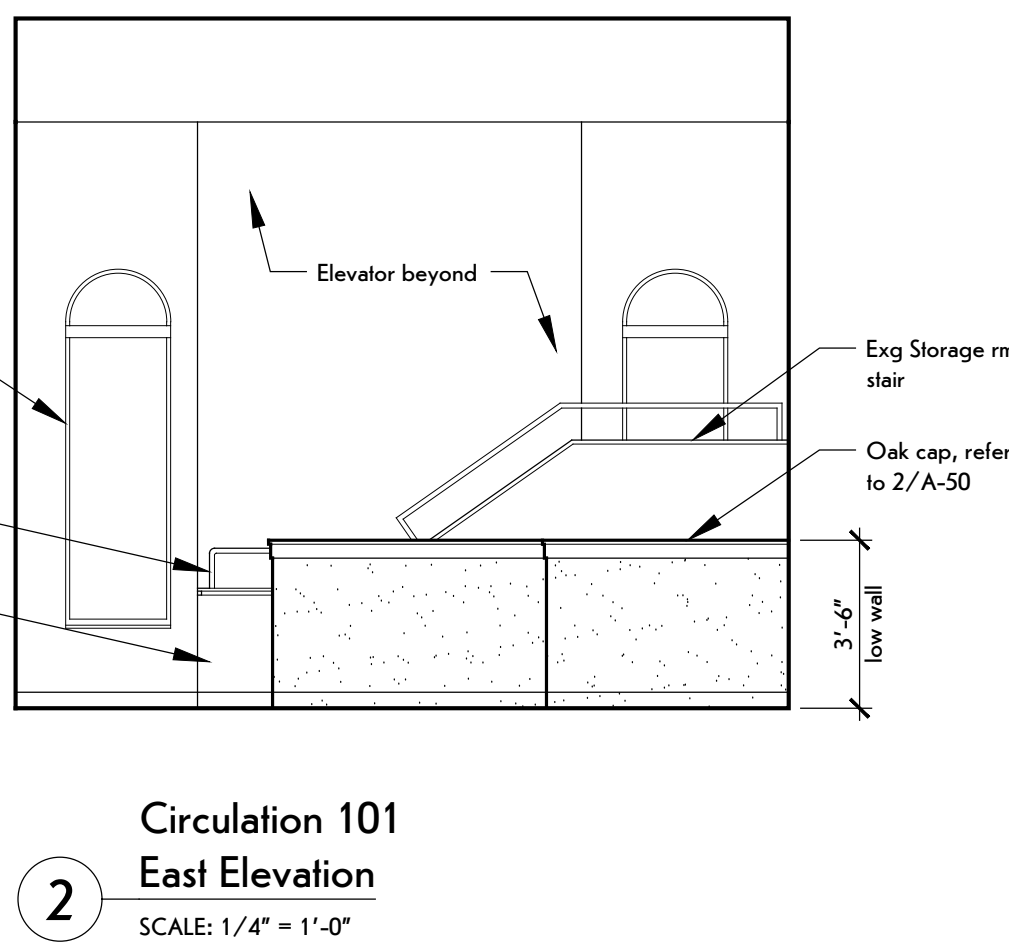
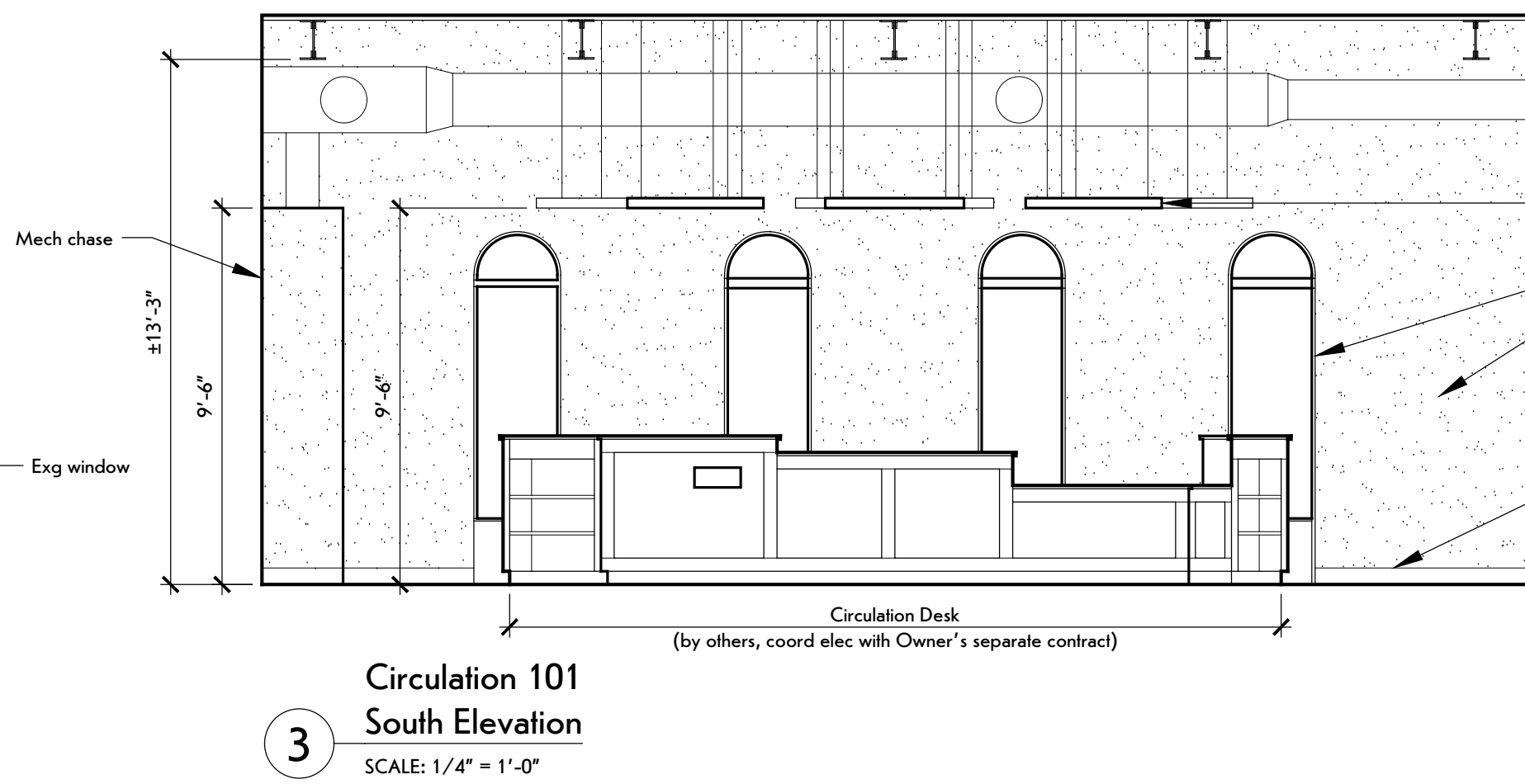
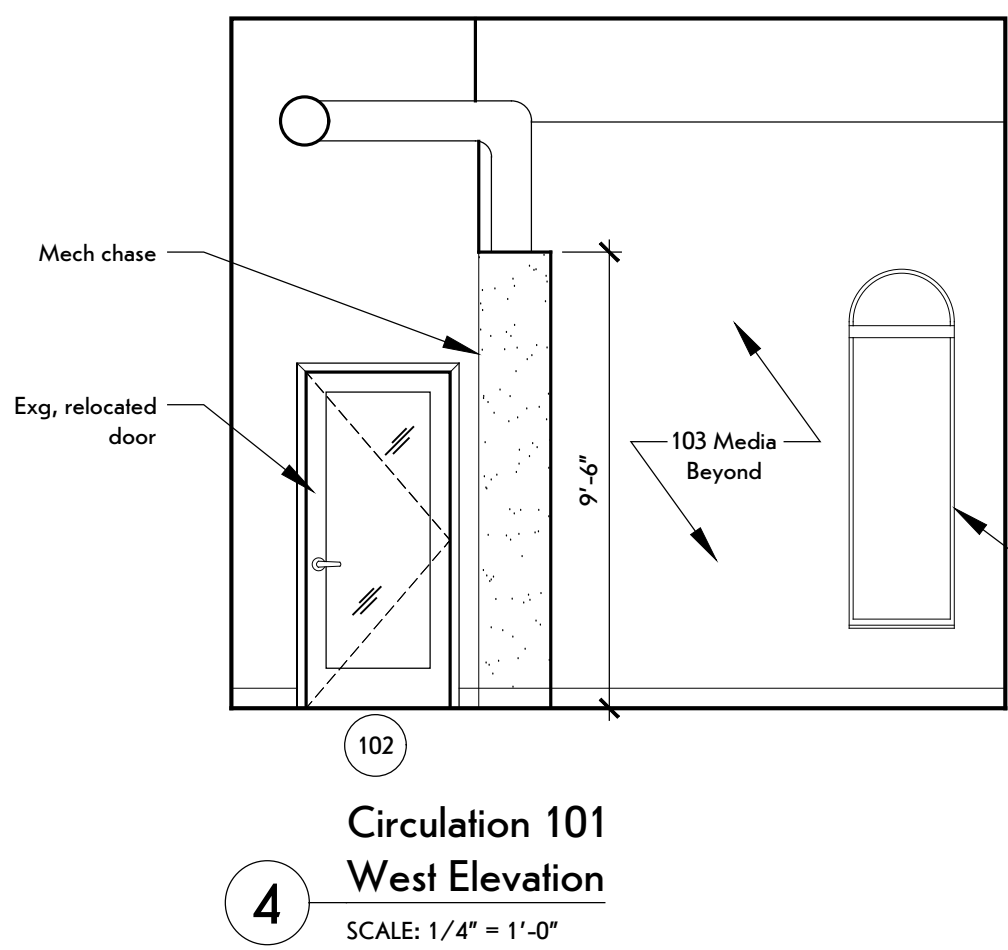
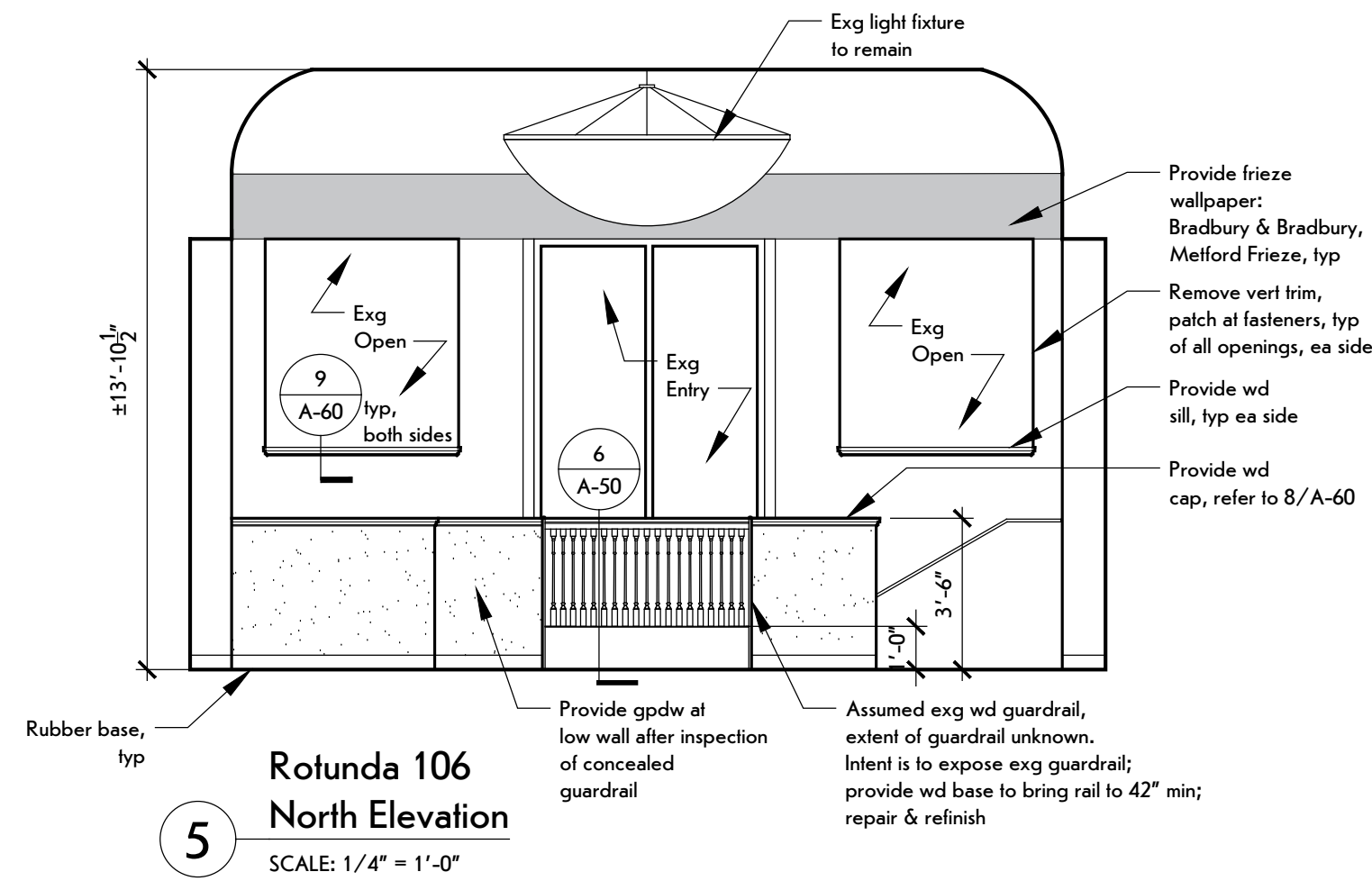
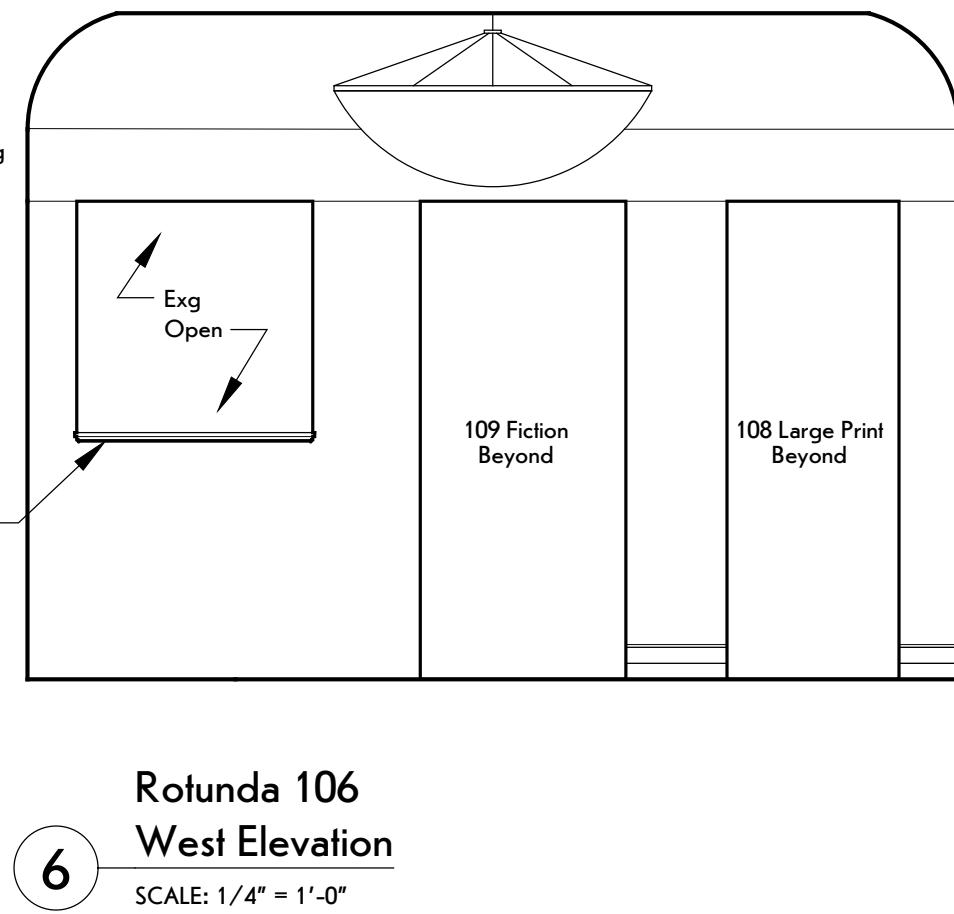
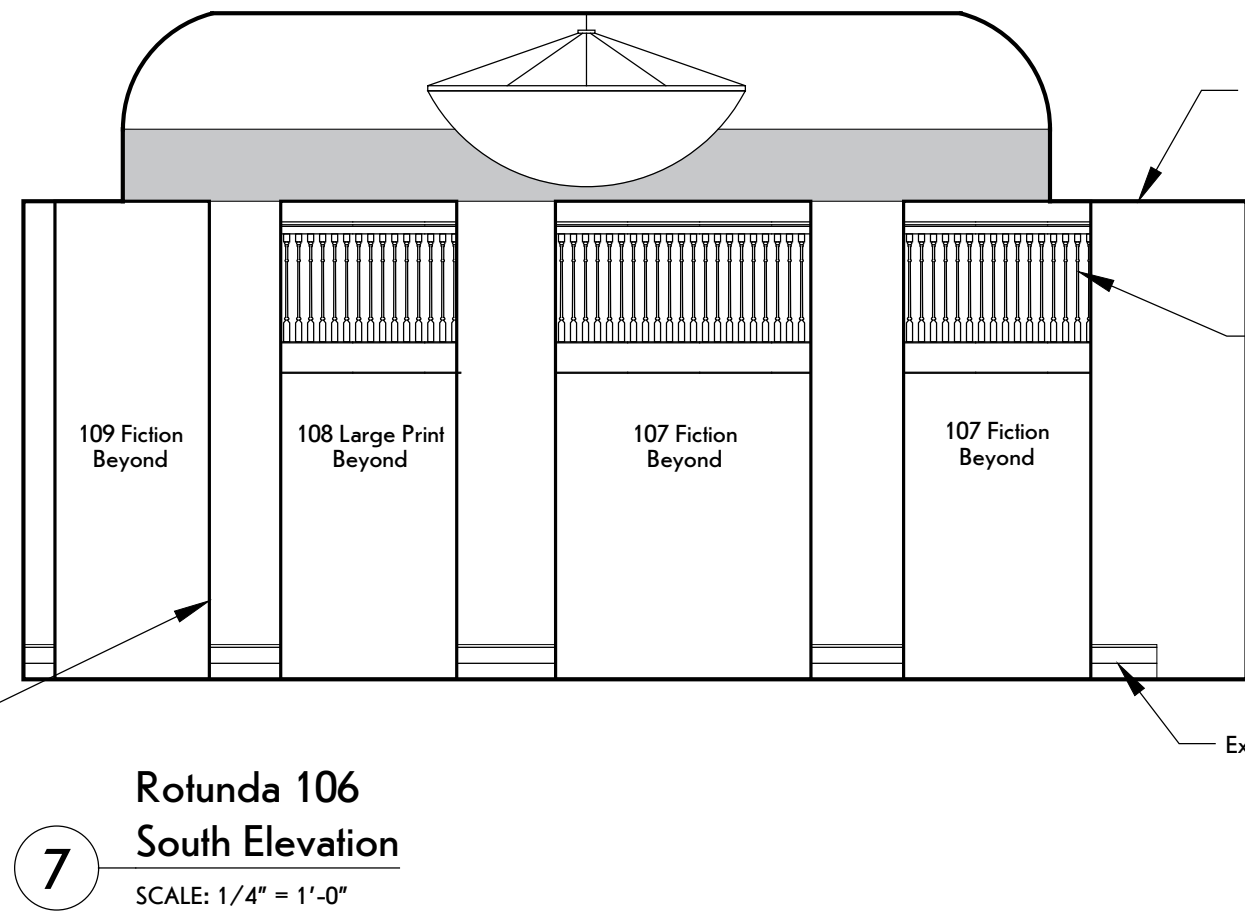
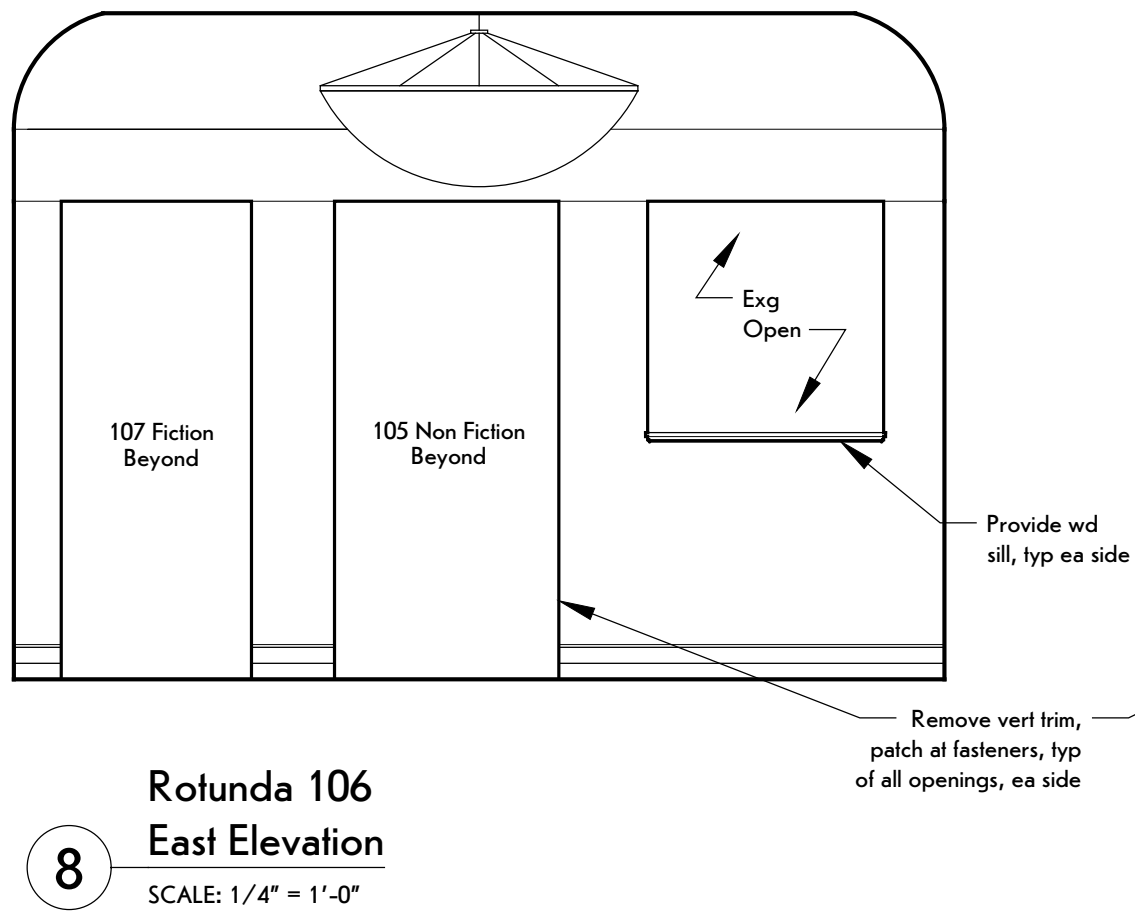
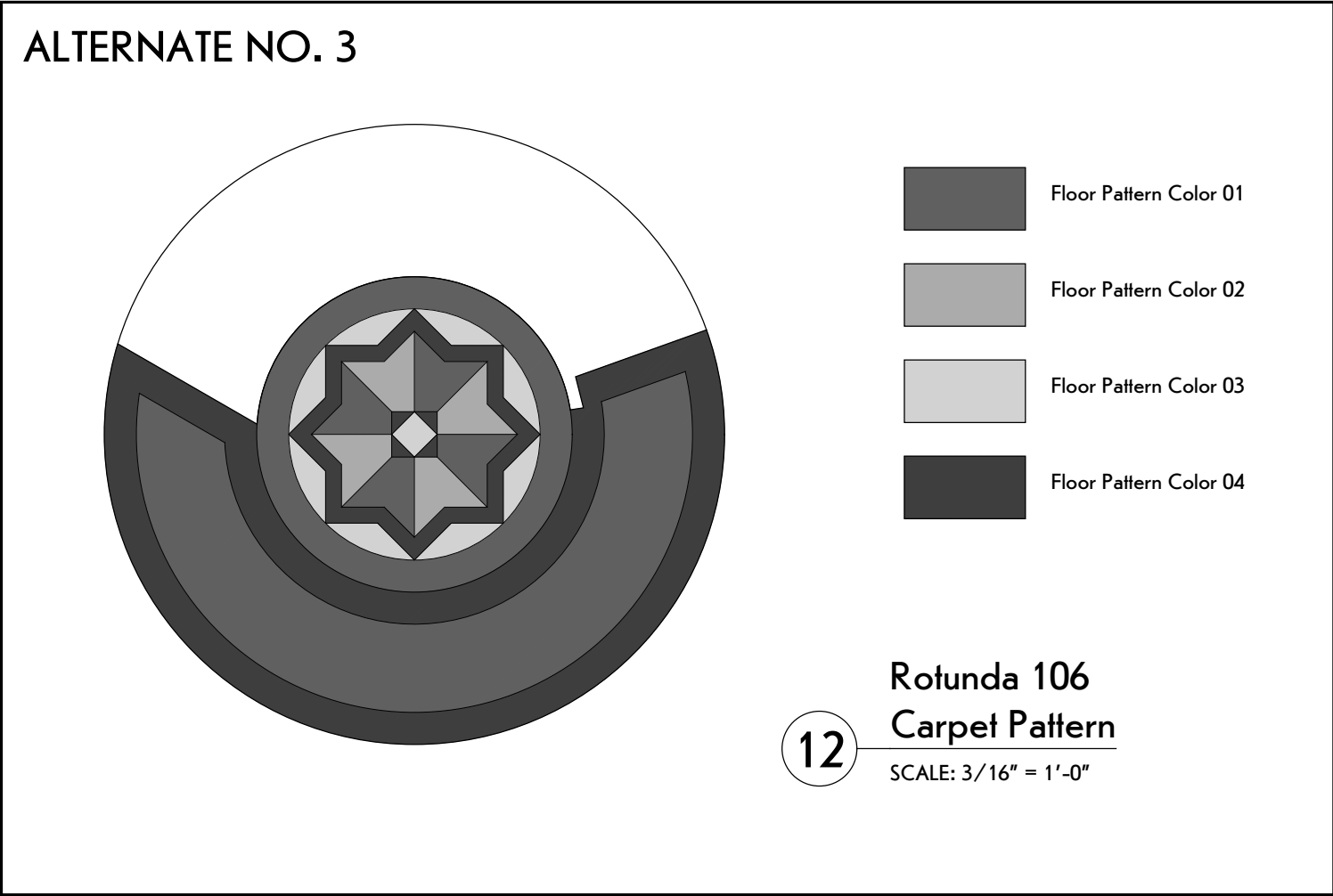
SHEET TITLE:

Lower Level  
Interior Elevations

SHEET NUMBER:

**A-40**



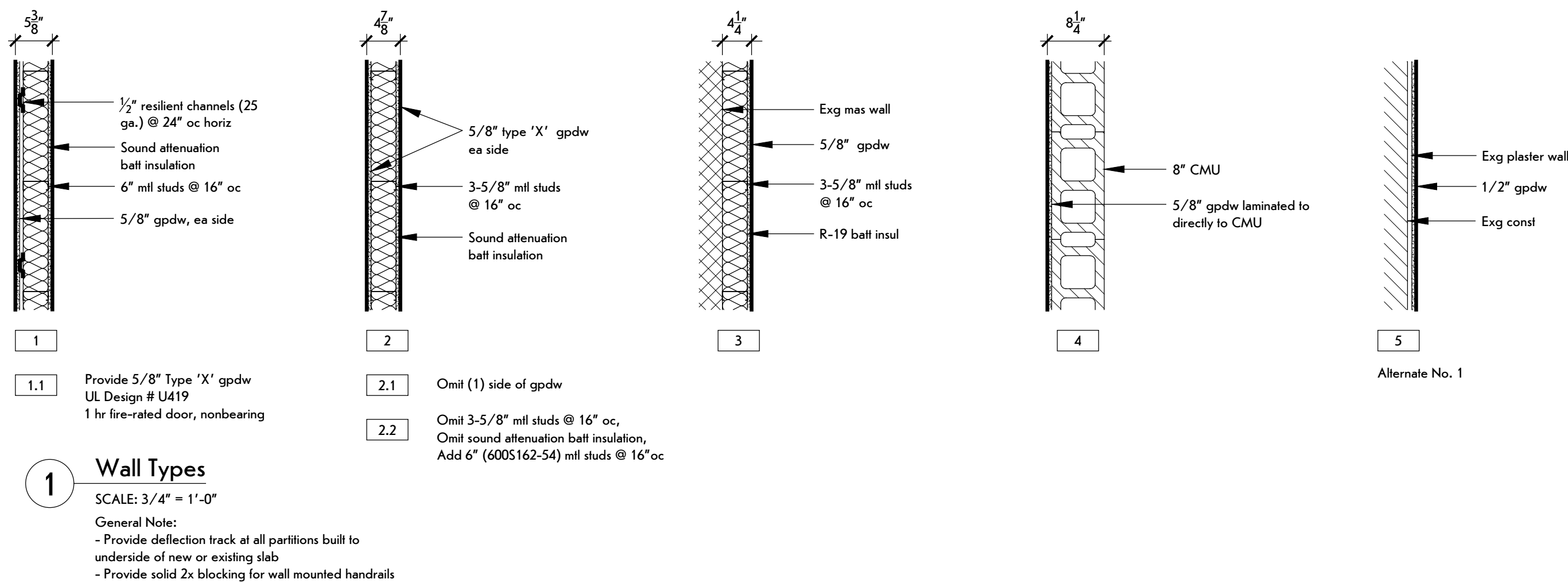
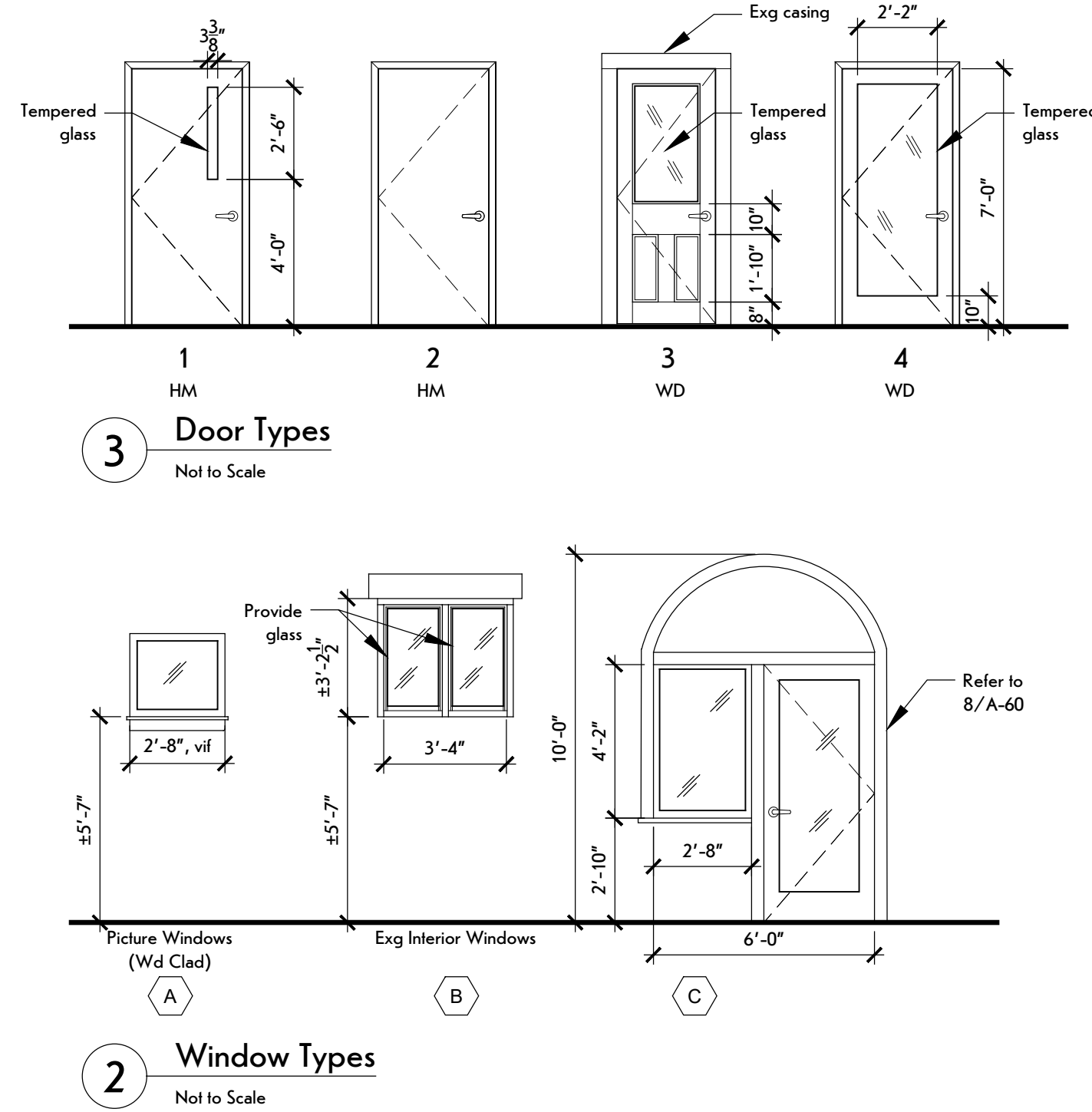
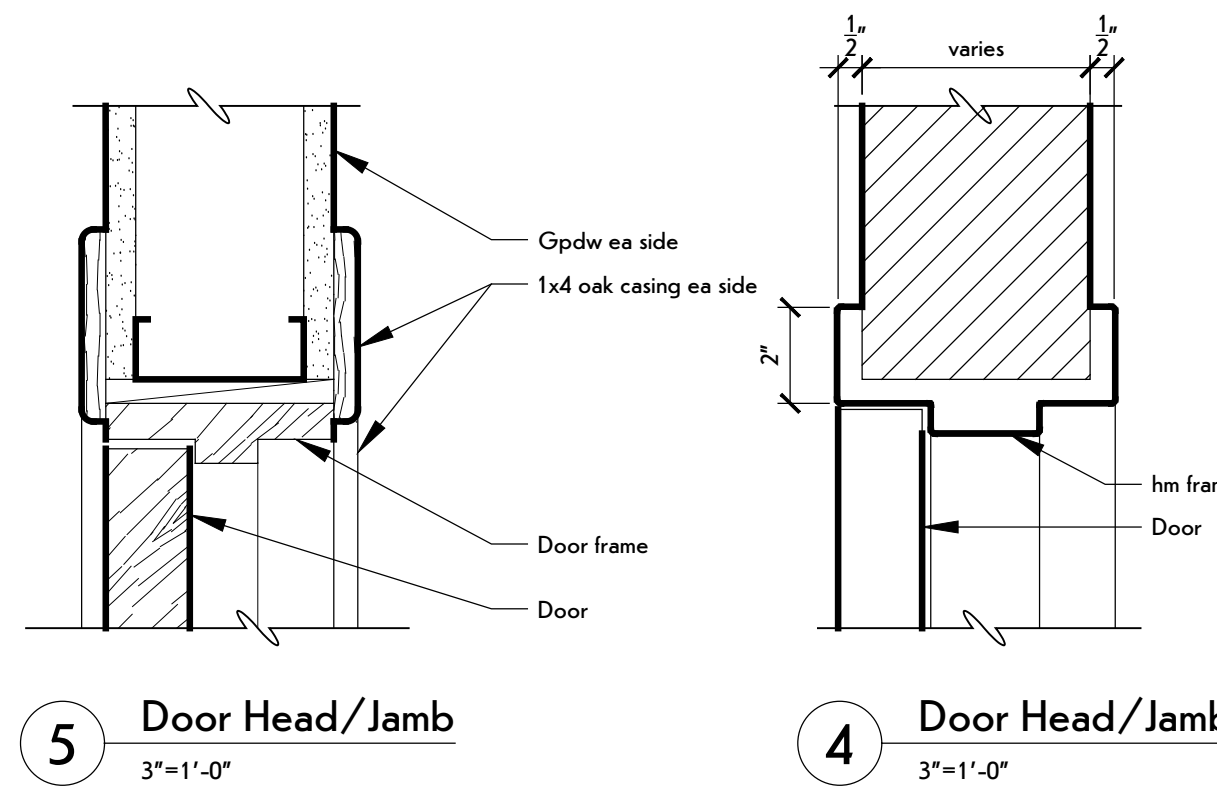
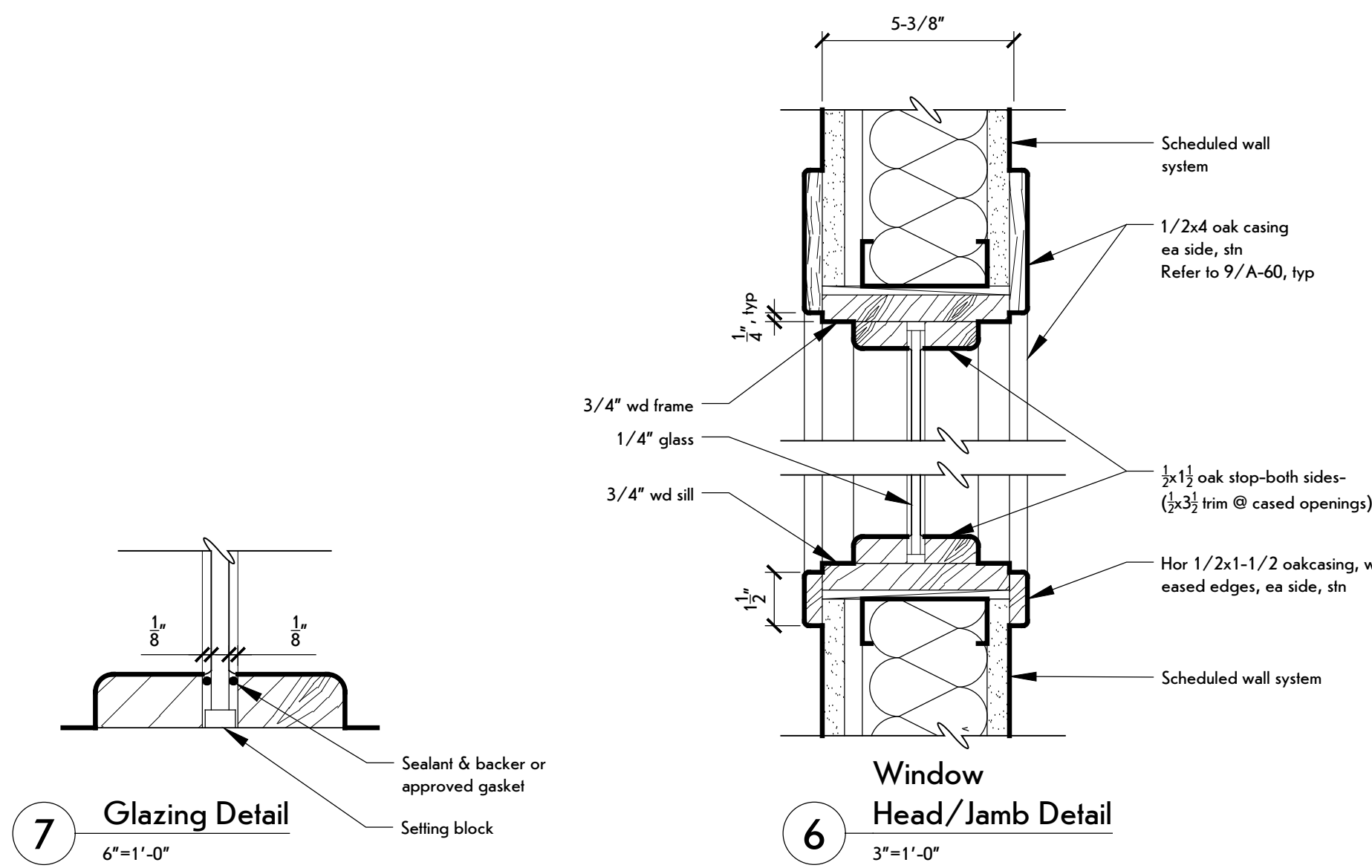
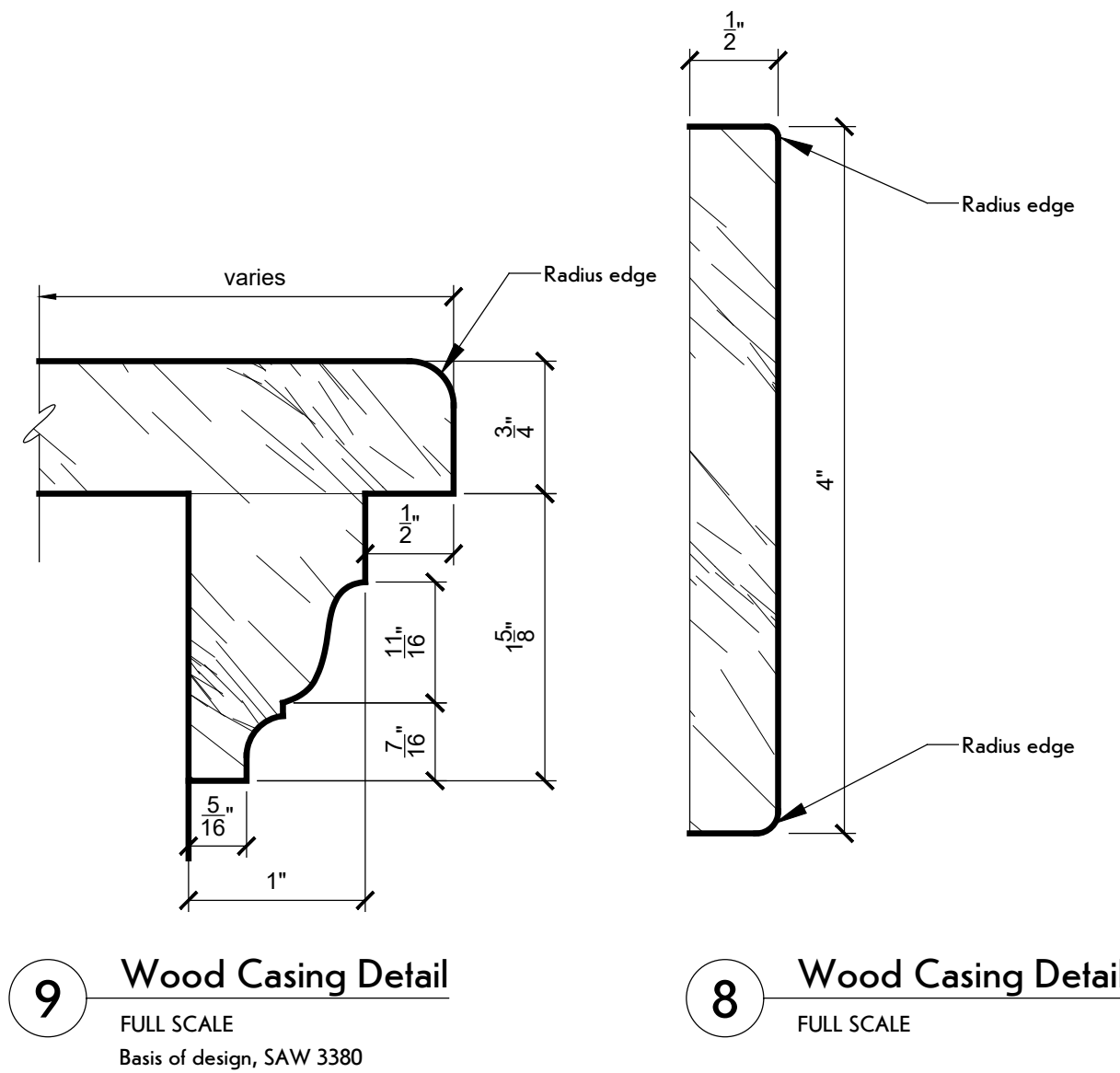


REVISIONS:		
#	Date	Description



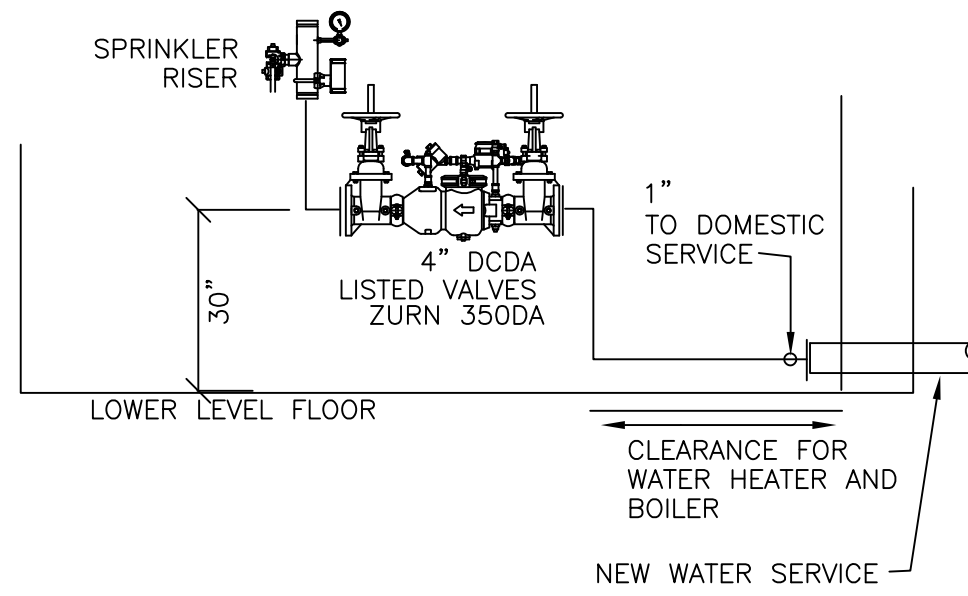
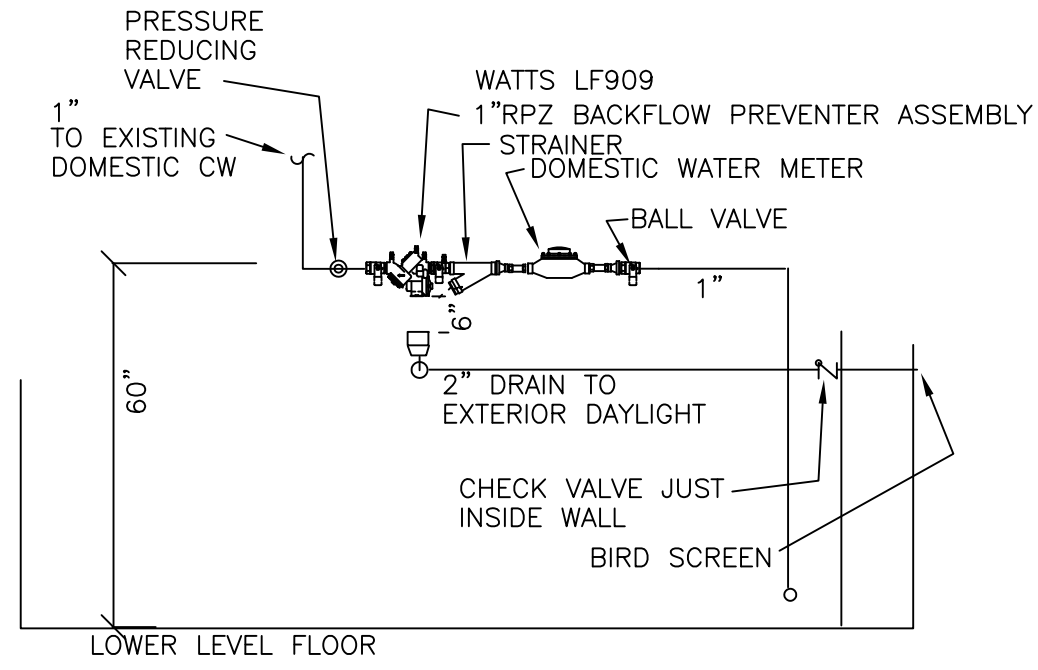
**A-50**





DOOR SCHEDULE															
DOORS									FRAMES						
DOOR NO.	SIZE			MAT.	TYPE	FINISH	GLASS	RATING	MAT.	TYPE	FINISH	FRAME ANCHORAGE	WALL THK	HARD WARE	REMARKS/NOTES
	W	H	T												
001A	3'-0"	7'-0"	1-3/4"	hm	1	pnl	GL-1	--	hm	--	pnl	4/A-60	5 3/8"	SET A	
001B	3'-0"	7'-0"	1-3/4"	hm	1	pnl	GL-1	3/4 hr	hm	--	pnl	4/A-60	4 7/8"	SET A	
001C	3'-0"	7'-0"	1-3/4"	hm	2	pnl	--	--	hm	--	pnl	4/A-60	5 3/8"	SET B	
001D	3'-0"	7'-0"	1-3/4"	hm	Existing to remain				Existing to remain						
003	3'-2"	7'-0"	1-3/4"	hm	2	pnl	--	3/4 hr	hm	--	pnl	4/A-60	9"	SET B	
004	3'-0"	7'-0"	1-3/4"	hm	2	pnl	-	--	hm	--	pnl	4/A-60	4 7/8"	SET C	
008	2'-8"	7'-0"	1-3/4"	wd	Existing to remain				Existing to remain						
010	2'-8"	7'-0"	1-3/4"	wd	3	pnl	GL-1	--	wd	--	pnl	5/A-60	5"	SET C	Undercut 1"
011	3'-0"	7'-0"	1-3/4"	wd	Existing to remain				Existing to remain						
013	3'-0"	7'-0"	1-3/4"	hm	Existing to remain				Existing to remain						
102	3'-0"	7'-0"	1-3/4"	wd	Relocated Existing				wd	--	pnl	5/A-60	4 7/8"	SET C	Reinstall salvaged door
104	3'-0"	7'-0"	1-3/4"	wd	4	stn	GL-1	--	wd	--	pnl	6/A-60	4 7/8"	SET C	
GENERAL NOTES															
<ul style="list-style-type: none"><li>Paint door and frames, ea side</li><li>Protect exg doors, scheduled to remain, during construction</li></ul>															





### WATER SERVICE — ELEVATION

NOT TO SCALE  
COORDINATE WITH EXISTING CONDITIONS

COORDINATE WORK WITH OTHER TRADES.

FIELD MEASURE ALL WORK.

COMPLY WITH THE BUILD AMERICA BUY AMERICA ACT. REFER TO THE SPECIFICATIONS.

### NOTES — PLUMBING

- COORDINATE FIXTURES WITH THE ARCHITECTURAL PLANS. ACCESSIBLE FIXTURES TO COMPLY WITH ICC A117.1 STANDARDS. ACCESSIBLE SINKS — INSULATE OR PROTECT PIPING UNDER LAV PER A117.1.
- PROVIDE ALL PIPING INCLUDING CONNECTIONS TO EQUIPMENT AND FIXTURES. INSTALL PIPING CONCEALED WHERE EVER POSSIBLE.
- PROVIDE AND INSTALL MATERIALS IN ACCORDANCE WITH THE PLUMBING CODE.
- INSULATE ALL NEW DOMESTIC COLD WATER AND HOT WATER PIPING.
- PROVIDE COMPLETE SYSTEM IN ACCORDANCE WITH STATE AND LOCAL CODES. PAY ALL ASSOCIATED FEES AND OBTAIN ALL REQUIRED INSPECTIONS.
- PROVIDE FIRE—STOPPING AT PIPE PENETRATION OF THE BOILER ROOM WALLS.
- PROVIDE PLUMBING FOR FIXTURES. PROVIDE STOP VALVES FOR WATER CONNECTIONS. PROVIDE 4" WATER SERVICE CONNECTION TO THE NEW 4" WATER SERVICE 5 FEET OUTSIDE OF BUILDING LINE (PROVIDE PIPE FROM 5 FEET OUTSIDE THE BUILDING TO INSIDE THE BUILDING). PROVIDE EXCAVATION AS REQUIRED. PIPE BEDDING, CORE DRILLED WALL PENETRATION, PENETRATION SEAL, BACKFILL. PIPE MATERIALS TO BE DIP. OFFSET PIPE JUST OUTSIDE THE EXTERIOR WALL FOR THE REQUIRED HEIGHT.

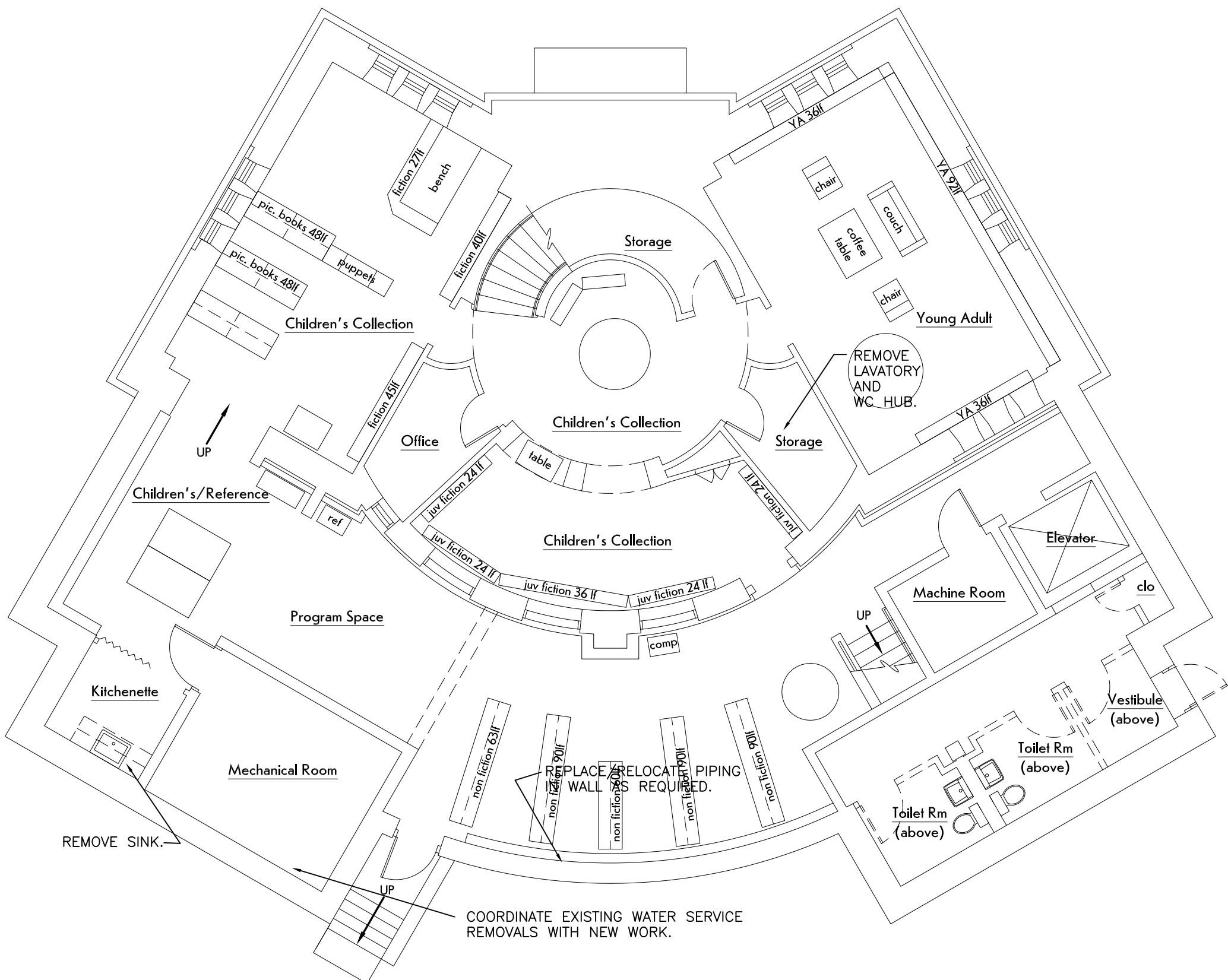
DISCONNECT THE EXISTING WATER SERVICE AND PROVIDE CONNECTION TO THE NEW WATER SERVICE. REMOVE THE EXISTING WATER SERVICE PIPE THROUGH THE EXTERIOR WALL AND PATCH AND SEAL WALL.

### SYMBOLS — PLUMBING

	BALL VALVE
CW	COLD WATER
HW	HOT WATER
SAN	SANITARY DRAINAGE (WASTE OR SOIL)
V	VENT
DPCO	DECK PLATE CLEAN OUT (FLOOR)
CTE	CONNECT TO EXISTING

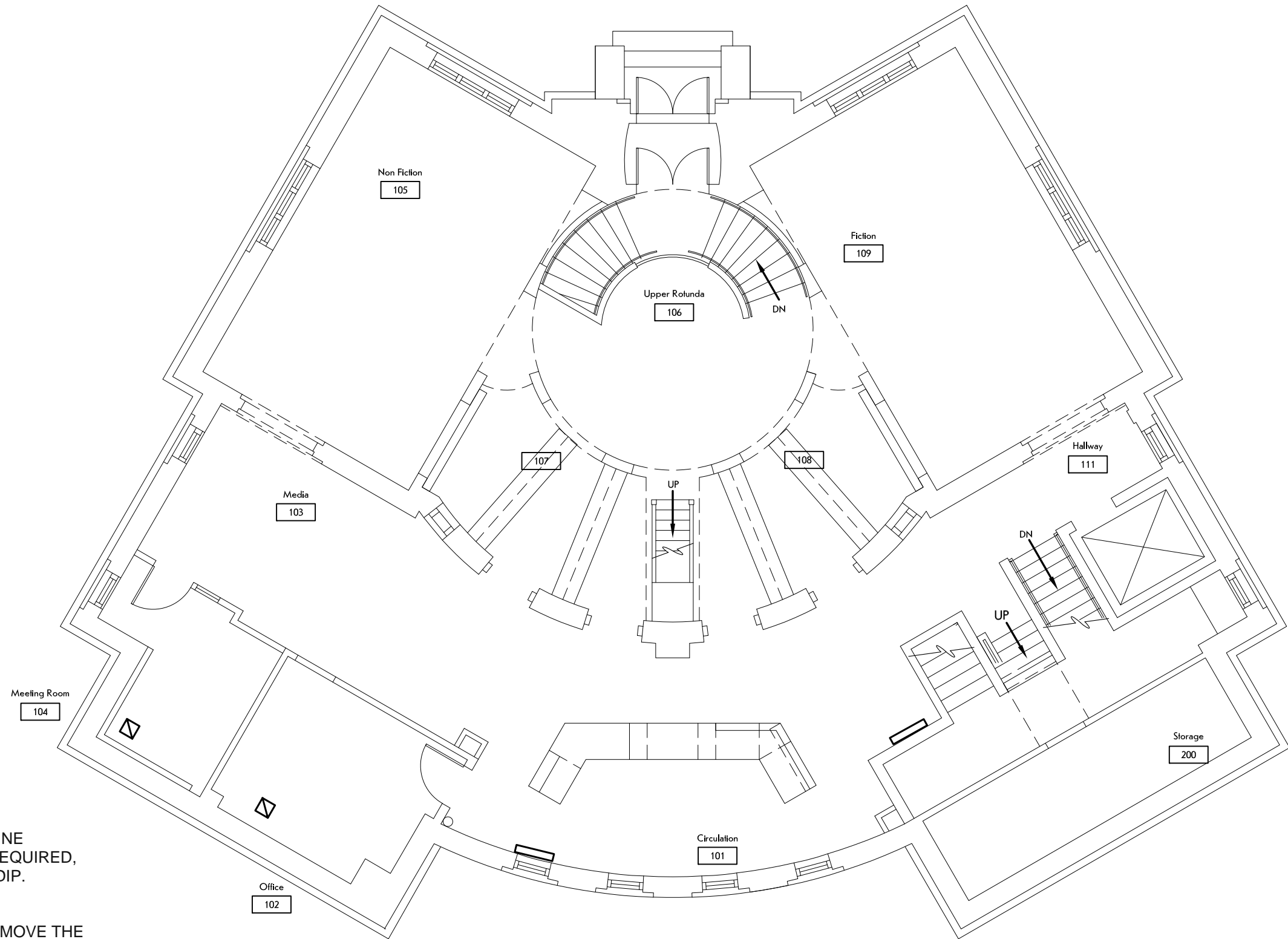
### REMOVALS — PLUMBING

- COORDINATE REMOVALS WITH NEW WORK.
- WHERE FIXTURES ARE SHOWN TO BE REMOVED COORDINATE TERMINATIONS OF EXISTING PIPING WITH NEW WORK. REMOVE BRANCH PIPING TO THE MAINS AND CAP.
- PATCH SURFACES TO MATCH EXISTING.



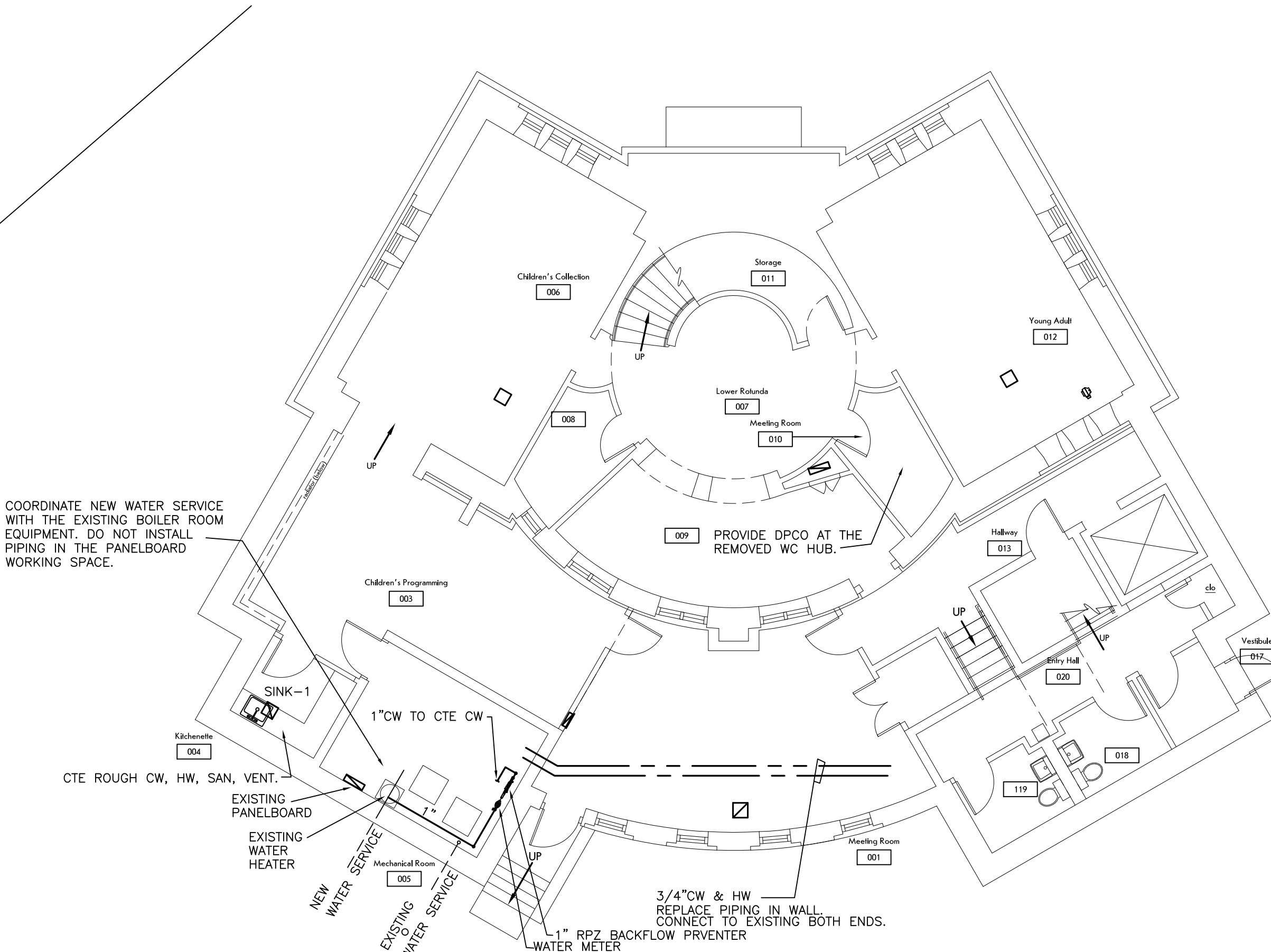
### LOWER LEVEL FLOOR PLAN — REMOVALS

1/8" = 1'-0"



### MAIN LEVEL FLOOR PLAN

1/8" = 1'-0"



### LOWER LEVEL FLOOR PLAN

1/8" = 1'-0"

SHEET SCALE 1"



**bero**  
ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | www.beroarchitecture.com



STRUCTURAL ENGINEER:

**Jensen BRV**  
ENGINEERING, PLLC

1653 East Main Street  
Rochester, NY 14609

MEP/FP ENGINEER:

**CWE**  
CW Engineering

315 Rockingham Street  
Rochester, NY 14620

**WARNINGS:**  
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.

FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE 16, PART 60-300 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THE DRAWING, IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY", AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.

WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK, AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFOR. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND CHARACTER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

### REVISIONS:

#	Date	Description

### CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

### PROJECT INFORMATION:

Design Development  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22120

ISSUE DATE: 4/25/2025

DRAWN BY: CWE

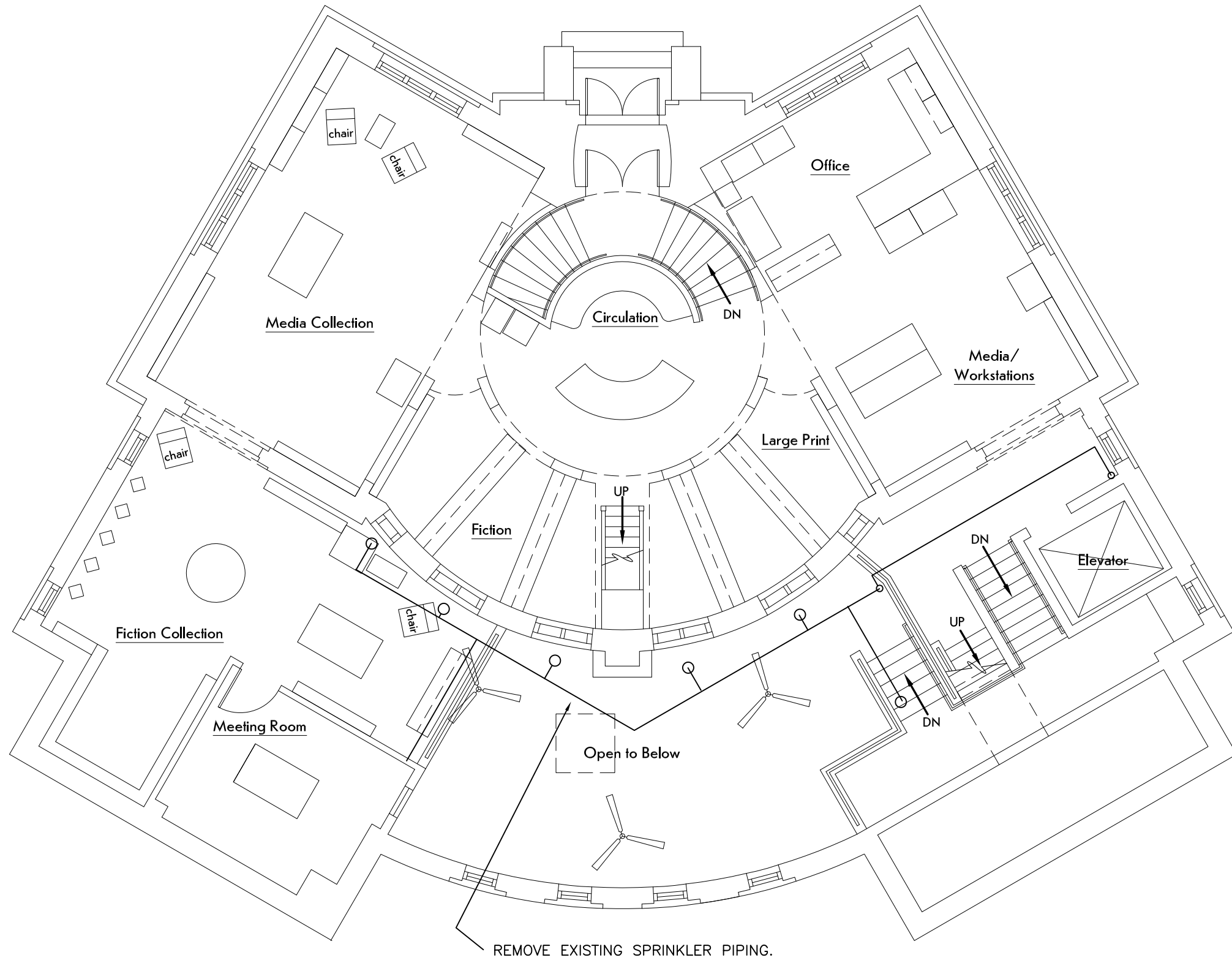
SHEET TITLE:

**PLUMBING**

SHEET NUMBER:

**P-10**





MAIN LEVEL FLOOR PLAN – REMOVALS  
1/8" = 1'-0"

REMOVALS

REMOVE THE EXISTING SPRINKLER SYSTEM.

INCLUDES:  
CONNECTION TO THE EXISTING WATER SERVICE  
RISER AND ALARM VALVE  
SPRINKLERS AND PIPING (EXISTING SYSTEM WAS INTENDED TO PROTECT THE OPENINGS BETWEEN THE  
EXISTING BUILDING AND THE 1988 ADDITION.)  
TEST CONNECTION

FLOW TEST INFORMATION  
REPORT DATED 8-14-15, SUPPLIED BY VILLAGE OF  
WARSAW  
N. MAIN ST. E/S\* N/O\* GENESEE ST., 10" MAIN\*  
2380 GPM\*  
STATIC PRESSURE 132 PSIG  
RESIDUAL PRESSURE 115 PSIG

NOTE THAT THE NEW WATER SERVICE WILL BE CONNECTED  
TO THE 4" MAIN IN E. COURT ST.  
REFER TO THE SITE PLANS.

FIRE PROTECTION SPRINKLER

THE NEW SPRINKLER SYSTEM IS FOR THE ADDITION (ADDED FLOOR AREA) INCLUDING THE FLOOR AND EXITS.

THE EXISTING FLOOR AREA UNDER THE ADDITION WILL ALSO BE SPRINKLERED.

BID DRAWINGS ARE INTENDED TO SHOW THE GENERAL SCOPE OF WORK AND ANY SPECIFIC AESTHETIC REQUIREMENTS.  
THE CONTRACTOR SHALL PROVIDE A COMPLETE WORKING SYSTEM. THE CONTRACTOR SHALL BASE PIPE SIZES ON THE  
CONTRACTOR HYDRAULIC CALCULATIONS. THE CONTRACTOR SHALL BASE SPRINKLER LAYOUT ON THE ARCHITECTURAL AND  
STRUCTURAL BUILDING PLANS AND DETAILS. PROVIDE COMPLETE SYSTEMS PER NFPA 13 AND AS REQUIRED BY THE  
BUILDING CODE OF NEW YORK STATE.

SIZE THE PIPING AND SPRINKLERS AS REQUIRED BY THE AVAILABLE WATER PRESSURE AND FLOW.

LIGHT HAZARD (ANY BOOK SHELVES <= 8FT, > 30" APART)

CONTRACTOR SHALL PREPARE SHOP DRAWINGS. DRAWINGS TO MEET NFPA 13 DEFINITION OF WORKING DRAWINGS FOR  
SUBMISSION TO THE AHJ.

THE CONTRACTOR SHALL PROVIDE ALL INFORMATION FOR THE PERMIT. CERTIFICATION (PE STAMP OR OTHERWISE) OF  
THE SHOP DRAWINGS AS REQUIRED BY THE AHJ SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

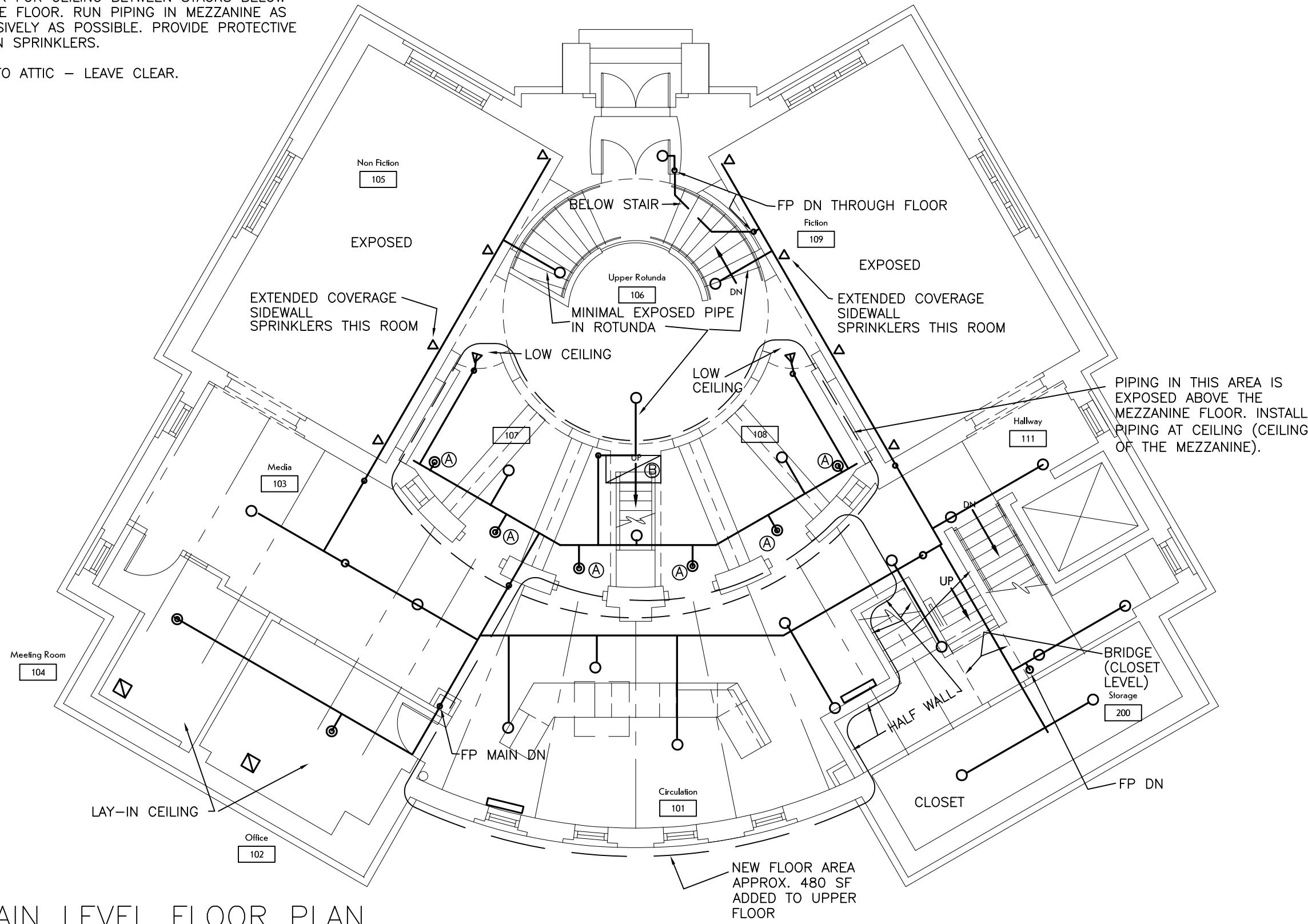
1. PROVIDE COMPLETE HYDRAULICALLY DESIGNED SYSTEM INCLUDING ALL ACCESSORIES REQUIRED BY NFPA 13.
2. COORDINATE WITH OTHER TRADES. PROVIDE PIPING AND SPRINKLERS TO AVOID BUILDING COMPONENTS. PROVIDE  
ADDITIONAL SPRINKLERS TO COVER AROUND OBSTRUCTIONS. REFER TO ALL THE BUILDING DRAWINGS.
3. PIPING SIZE TO BE 1" MINIMUM OR SAME AS PIPE DOWN-STREAM UNLESS OTHERWISE NOTED. PROVIDE 1"  
CONNECTIONS TO SPRINKLER HEADS (UNLESS OTHERWISE NOTED) INCLUDING SPRINKLER HEADS UNDER  
OBSTRUCTIONS.
4. ALL COMPONENTS SHALL BE LISTED.
5. PROVIDE FIRE-STOPPING AT PIPE PENETRATION OF FLOORS, MASONRY WALLS, DRYWALL CEILINGS, AND RATED WALLS  
AND PARTITIONS.
6. PROVIDE FLOW SWITCHES. PROVIDE TAMPER SWITCHES ON VALVES. PROVIDE AUDIO-VISUAL EXTERIOR ALARM.
7. PROVIDE DCDA BACKFLOW PREVENTER ASSEMBLY. COORDINATE THE WATER SERVICE.
8. PROVIDE MEANS FOR FORWARD TEST OF THE BACKFLOW PREVENTER SIZED FOR THE DESIGN FLOW. PROVIDE VALVE  
AND HOSE CONNECTION FOR THIS.
9. PROVIDE FIRE DEPARTMENT CONNECTION AS REQUIRED BY THE LOCAL FIRE DEPARTMENT. PROVIDE SIGN DESIGNATING  
THE AREA SERVED.

ALTERNATES

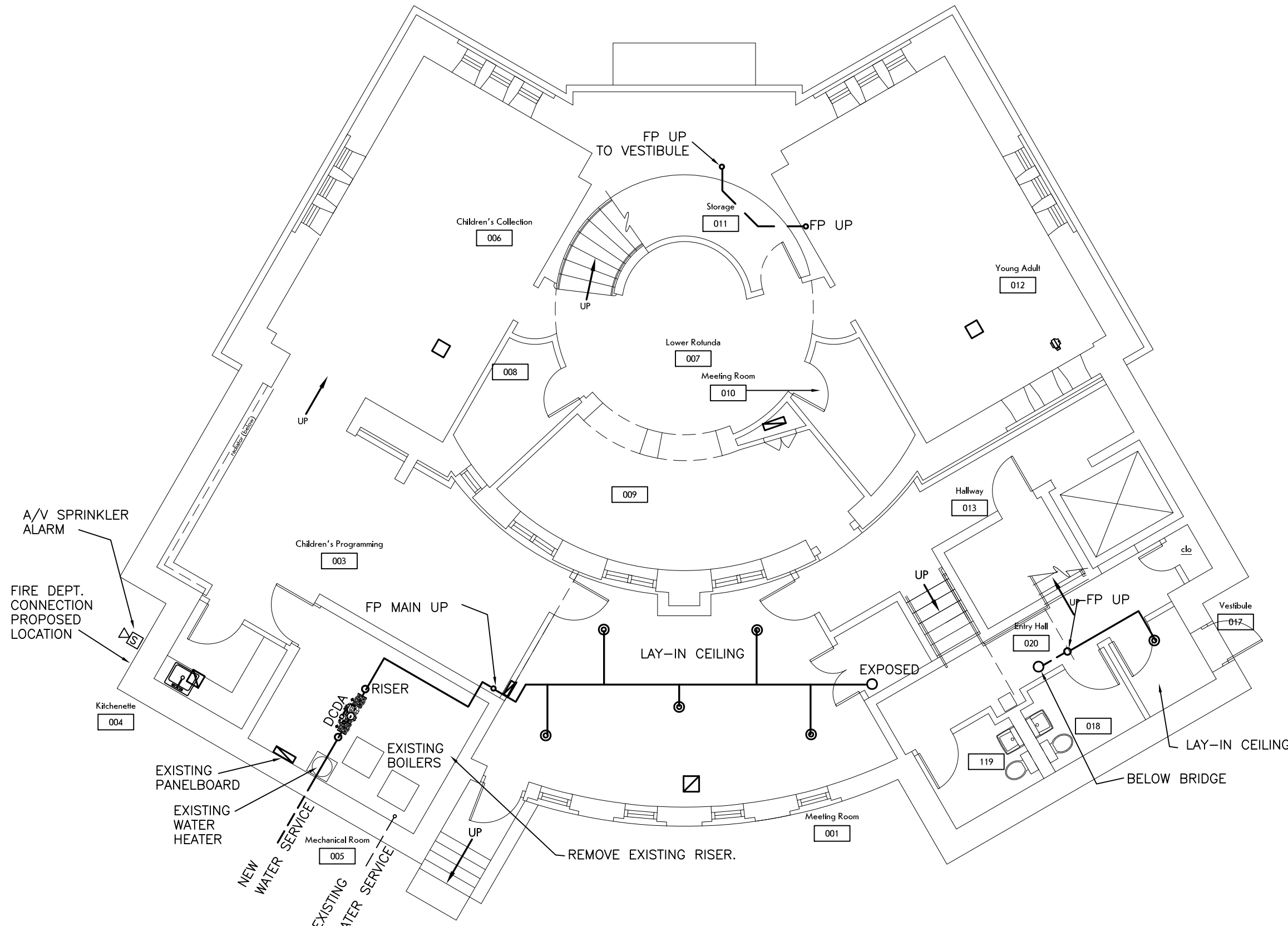
F2 PROVIDE SPRINKLERS IN CEILING CLOUDS (ALTERNATE CEILING OVER THE NEW CIRCULATION DESK).

KEY NOTES

- A SPRINKLER FOR CEILING BETWEEN STACKS BELOW  
MEZZANINE FLOOR. RUN PIPING IN MEZZANINE AS  
UNOBTUSIVELY AS POSSIBLE. PROVIDE PROTECTIVE  
CAGES ON SPRINKLERS.
- B ACCESS TO ATTIC – LEAVE CLEAR.



MAIN LEVEL FLOOR PLAN  
1/8" = 1'-0"



LOWER LEVEL FLOOR PLAN  
1/8" = 1'-0"

SHEET SCALE 1"



**bero**  
ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | www.beroarchitecture.com



© 2023 Bero Architecture PLLC

STRUCTURAL ENGINEER:



1653 East Main Street  
Rochester, NY 14609

MEP/FP ENGINEER:



315 Rockingham Street  
Rochester, NY 14620

WARNINGS:

DRAWINGS, SPECIFICATIONS AND OTHER  
DOCUMENTS, INCLUDING THOSE IN ELECTRONIC  
FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE  
INSTRUMENTS OF SERVICE FOR USE SOLELY WITH  
RESPECT TO THE PROJECT FOR WHICH THEY WERE  
CREATED. THE ARCHITECT RETAINS ALL COMMON LAW,  
STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING  
COPYRIGHT.

FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC  
MEDIA, IT IS A VIOLATION OF TITLE 16, PART 60-500 OF  
THE NEW YORK STATE EDUCATION LAW FOR ANY  
PERSON, UNLESS ACTING UNDER THE DIRECTION OF A  
LICENSED ARCHITECT TO ALTER THE DRAWING, IF  
ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL,  
SIGNATURE, THE DATE, THE NOTATION "ALTERED BY",  
AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.

WHERE DRAWINGS, ON PAPER OR ELECTRONIC  
MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED  
WORK, AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS  
SO SHOWN AS A MATTER OF INFORMATION AND THAT  
THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH  
INFORMATION TO BE SUBSTANTIALLY CORRECT,  
ASSUME NO RESPONSIBILITY THEREFOR. THE USER  
SHALL MAKE THEMSELVES FAMILIAR WITH ALL  
CONDITIONS AFFECTING THE NATURE AND MANNER  
OF THEIR WORK INCLUDING VERIFICATION OF ALL  
DIMENSIONS LOCATING EXISTING, PROPOSED,  
AND/OR NEW WORK AND CONDITIONS.

REVISIONS:

#	Date	Description

CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

PROJECT INFORMATION:

Design Development  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22120

ISSUE DATE: 4/25/2025

DRAWN BY: CWE

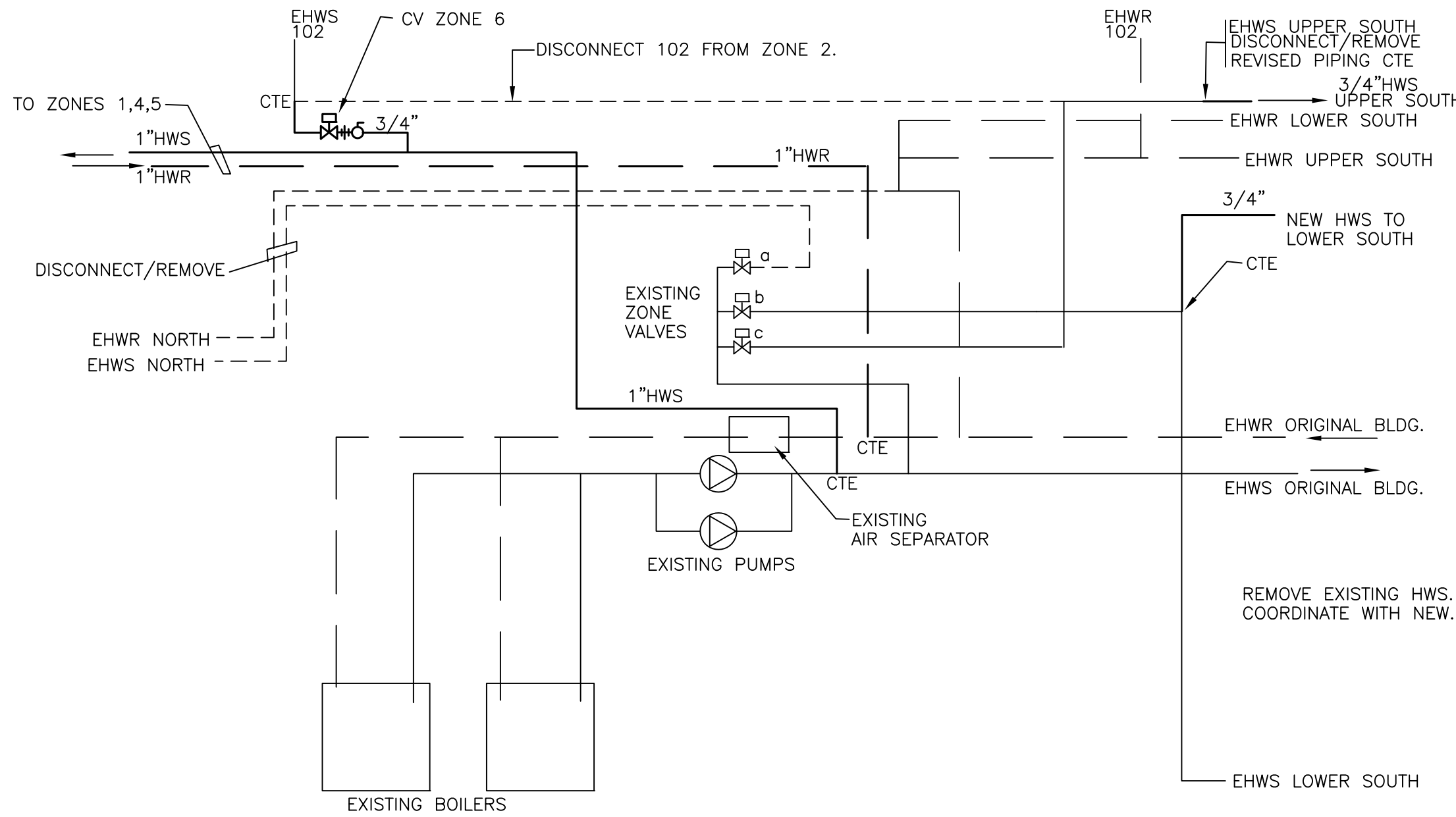
SHEET TITLE:

FIRE PROTECTION  
SPRINKLER

SHEET NUMBER:

F-10





### BOILER ROOM PIPING SCHEMATIC

NOT TO SCALE.  
VERIFY PIPING IN FIELD. — THE EXISTING ZONE VALVES MAY BE MIS-LABELED  
EHWS — EXISTING HOT WATER SUPPLY  
EHWR — EXISTING HOT WATER RETURN

a ZONE 1 — REMOVE  
b ZONE 3 — SOUTH LOWER  
c ZONE 2 — SOUTH UPPER

#### NOTES — HVAC

- INSULATE NEW SUPPLY AIR DUCT. EXCEPTION — EXPOSED ROUND DUCT IN CONDITIONED SPACE. INSULATE NEW HEATING WATER PIPING. EXCEPTION EXPOSED PIPING IN FINISHED SPACES AND PIPING IN FINTUBE ENCLOSURES.
- BALANCE AIR SYSTEMS. BALANCE HVAC WATER SYSTEM. SUBMIT COPIES OF START UP AND BALANCE REPORTS TO THE OWNER.
- PROVIDE OPERATION AND MAINTENANCE INFORMATION TO THE OWNER. PROVIDE AS-BUILT DOCUMENTATION TO THE OWNER.
- PROVIDE AND INSTALL EQUIPMENT AND DUCT IN ACCORDANCE WITH NEW YORK STATE ENERGY CODE AND MECHANICAL CODE.
- PROVIDE LISTED FIRE STOP SYSTEM AT PENETRATIONS OF RATED PARTITIONS AND CEILING ASSEMBLIES.
- INSTALL ALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- PROVIDE OPERATING AND MAINTENANCE LABELS IN ACCORDANCE WITH THE ENERGY CODE.

#### DUCTWORK

DUCTWORK SHALL BE GALVANIZED STEEL CONSTRUCTED IN ACCORDANCE WITH SMACNA 2" PRESSURE CLASS AND C SEAL CLASS. IN ADDITION ALL SEAMS AND JOINTS SHALL BE SEALED IN ACCORDANCE WITH THE ENERGY CODE.

ROUND DUCT SHALL BE SPIRAL.

PROVIDE RADIUS DUCT ELBOWS. IF USED, PROVIDE TURNING VANES IN ALL MITERED ELBOWS (EXCEPTION — ELBOWS AT RETURN AND TRANSFER GRILLES). PROVIDE A VOLUME DAMPER IN EACH BRANCH TO DIFFUSERS (EXCEPT WHERE DAMPERS ARE SHOWN AT THE DIFFUSERS. ALL DUCT BRANCHES SHALL BE 45 DEG. TAP TYPE. BRANCHES TO DIFFUSERS AND GRILLES SHALL BE THE SIZE OF THE DIFFUSER NECK UNLESS OTHERWISE NOTED.

FLEX DUCT CONNECTIONS FOR CONNECTIONS TO DIFFUSERS IN SUSPENDED CEILINGS SHALL BE LINED & INSULATED AND MAXIMUM 6 FEET.

WHERE ACOUSTICAL INSULATION DUCT LINING IS USED, DIMENSIONS SHOWN ARE INSIDE NET CLEAR.

EXPOSED DUCT — PROVIDE GAVANEALED DUCT (DUCT TO BE PAINTED).

FIELD MEASURE DUCTWORK. COORDINATE DUCTWORK WITH OTHER TRADES PRIOR TO INSTALLATION. PROVIDE OFFSETS AND TRANSITIONS.

#### ALTERNATES

M1 006 & 012 — RENOVATION WORK:  
REMOVE EXISTING TRANSFER DUCTS, FANS, GRILLES AND DIFFUSERS.  
REPLACE BASEBOARD HEATERS. REVISE HEATER PIPING.  
006 ONLY — PROVIDE TRANSFER FAN FOR 008.  
REMOVE EXISTING THERMOSTATS AND REINSTALL ON THE NEW WALL SURFACE.  
(NOTE THAT THE WORK ASSOCIATED WITH 010 IS IN THE BASE BID.)

M4 006 & 012 — WORK ASSOCIATED WITH PROVIDING DUCTED AIR FROM RTU—N TO 006 & 012.

COORDINATE WORK WITH OTHER TRADES.

FIELD MEASURE ALL WORK.

COMPLY WITH THE BUILD AMERICA BUY AMERICA ACT. REFER TO THE SPECIFICATIONS.

#### SYMBOLS

FD	FIRE DAMPER
AD	DUCT ACCESS DOOR
—	VOLUME DAMPER
⊘	BALL VALVE
	UNION
⊗	BALANCE VALVE
⊠	CONTROL VALVE
CV	CONTROL VALVE
BV	BALANCE VALVE
T	THERMOSTAT
CRD	CEILING RADIATION DAMPER
✓	CHECK VALVE
CTE	CONNECT TO EXISTING
FT	FINTUBE
BB	BASEBOARD HEATER

THE EXISTING CONDITIONS SHOWN ARE BASED ON AS-BUILT DRAWINGS AND FIELD OBSERVATIONS. ACTUAL CONDITIONS MAY VARY. ACCOUNT FOR POSSIBLE VARIATIONS. NOTE EXSITING CONDITIONS DURING REMOVALS AND INCLUDE THE CONDITIONS ON THE FIELD AS-BUILT DRAWINGS.

#### PRIOR TO REMOVALS

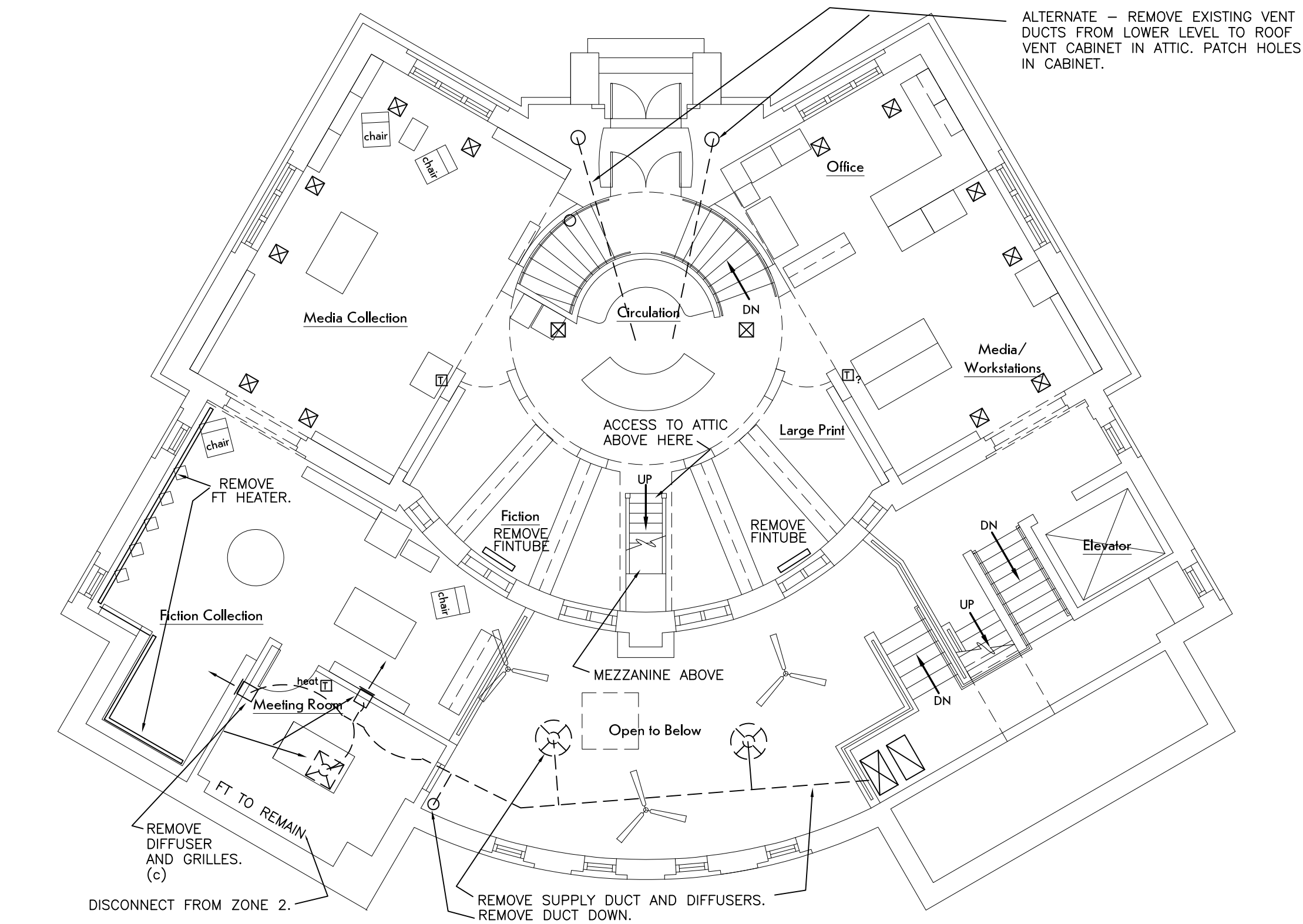
- TEST EXISTING THERMOSTATS. INCLUDING ALL HEATING THERMOSTATS AND BOTH ROOFTOP THERMOSTATS. REPORT RESULTS TO THE ENGINEER.

#### REMOVALS

- COORDINATE REMOVALS WITH NEW WORK.
- REMOVE EXISTING CONTROL DEVICES NOTED. REMOVE WIRING.
- DISCONNECT AND REMOVE PIPING IN THE EAST EXTERIOR WALL (RADIUS WALL) WHERE REQUIRED FOR INSTALLATION OF WINDOWS. THIS PIPING WILL BE REPLACED. LOCATION CONNECTIONS AT EACH END DURING REMOVALS AND COORDINATE CONENCTIONS WITH NEW WORK.

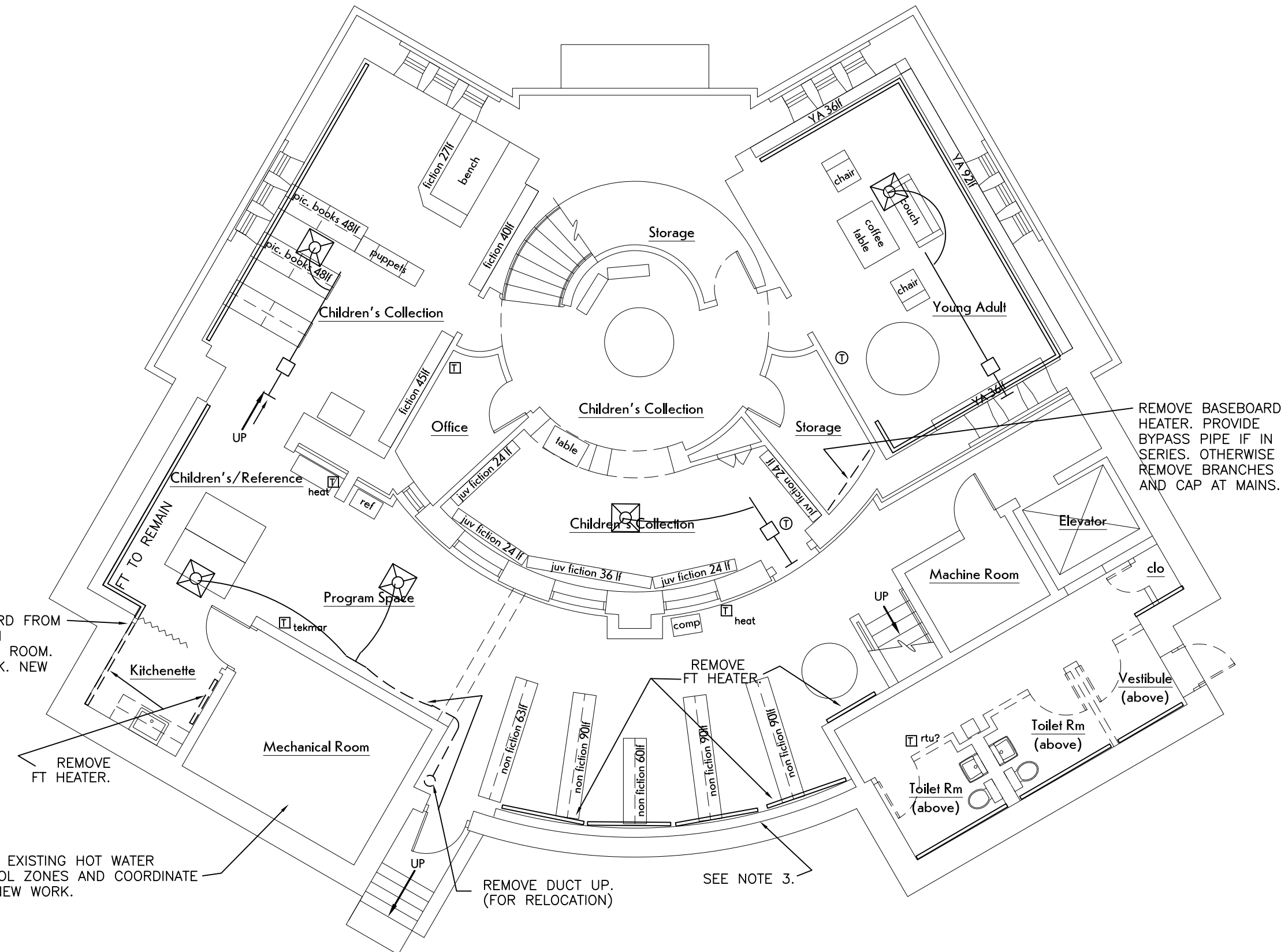
REMOVE PIPE AND BASEBOARD FROM THIS POINT BACK THROUGH KITCHENETTE TO THE BOILER ROOM. COORDINATE WITH NEW WORK. NEW ZONE 3.

VERIFY EXISTING HOT WATER CONTROL ZONES AND COORDINATE WITH NEW WORK.



### MAIN LEVEL FLOOR PLAN

1/8" = 1'-0"



### LOWER LEVEL FLOOR PLAN

1/8" = 1'-0"

SHEET SCALE 1"



**bero**  
ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | [www.beroarchitecture.com](http://www.beroarchitecture.com)



STRUCTURAL ENGINEER:

**Jensen BRV**  
ENGINEERING, PLLC

1653 East Main Street  
Rochester, NY 14609

MEP/FP ENGINEER:

**CWE**  
CW Engineering

315 Rockingham Street  
Rochester, NY 14620

#### WARNINGS:

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.

FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE 16, PART 60-500 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THE DRAWING, IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY", AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.

WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK, AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFOR. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

#### REVISIONS:

#	Date	Description

#### CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

#### PROJECT INFORMATION:

Design Development  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22120

ISSUE DATE: 4/25/2025

DRAWN BY: CWE

SHEET TITLE:

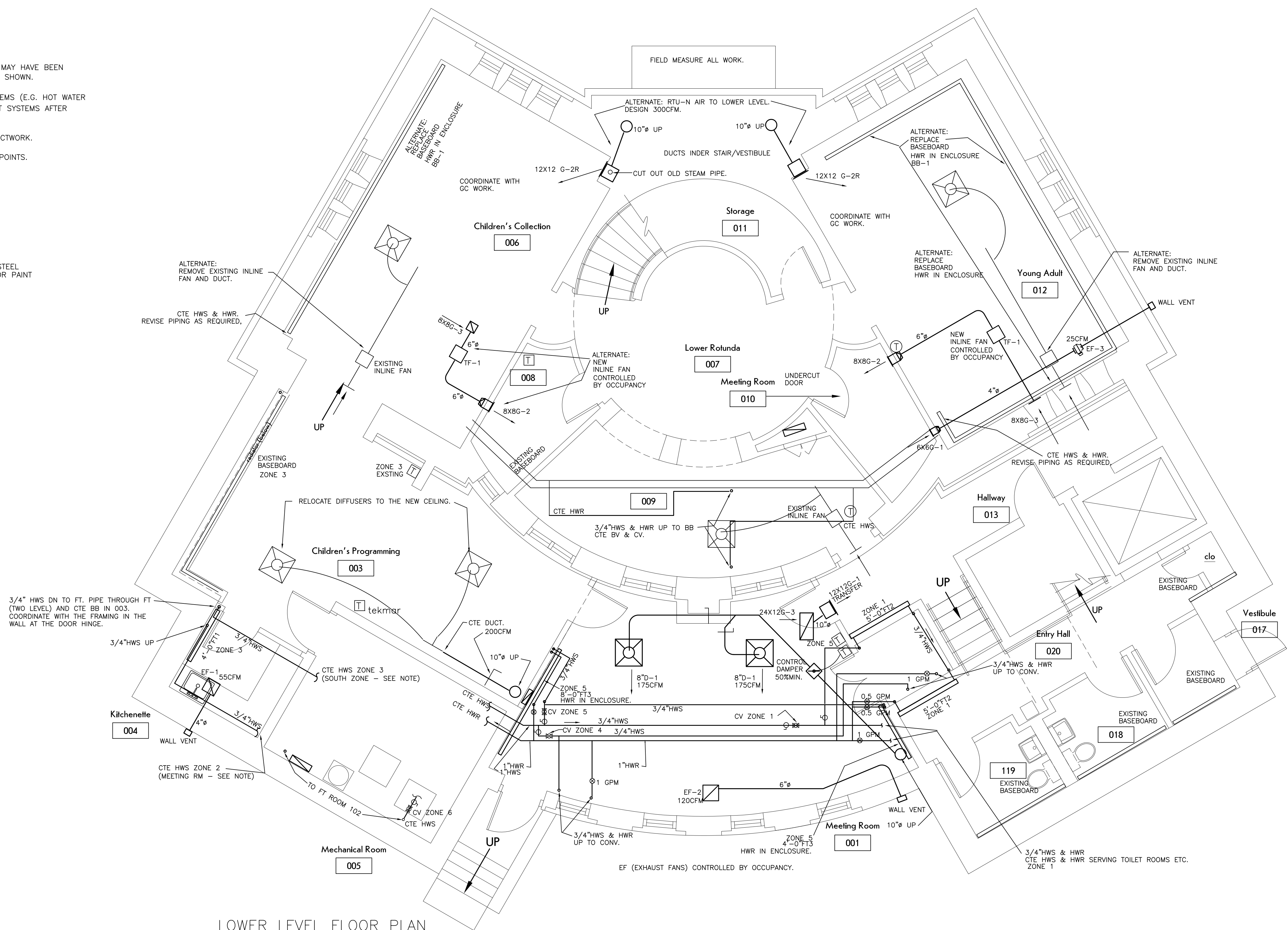
REMOVALS

SHEET NUMBER:

**M-01**



- A. EXISTING ZONE VALVES IN THE BOILER ROOM MAY HAVE BEEN MIS-LABELED. VERIFY IN FIELD AND LABEL AS SHOWN.
- B. PROVIDE WORK TO REVISE THE EXISTING SYSTEMS (E.G. HOT WATER HEATING, ROOFTOP UNIT). START UP AND TEST SYSTEMS AFTER RENOVATIONS.
- C. FIELD MEASURE ALL PIPING, FINTUBE, AND DUCTWORK.
- D. PROVIDE AIR VENTS AT HEATING WATER HIGH POINTS.



LOWER LEVEL FLOOR PLAN  
1/4" = 1'-0"

SHEET SCALE 1" 



**bero**  
ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | [www.beroarchitecture.com](http://www.beroarchitecture.com)



© 2023 Bero Architecture PLLC

STRUCTURAL ENGINEER



1653 East Main Street  
Rochester, NY 14609

MEP/FP ENGINEER:



315 Rockingham Street  
Rochester, NY 14620

**WARNING**

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.

FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE VII, PART 69.5(B) OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THIS DRAWING. IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY:" AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.

WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFORE. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

## REVISIONS:

#	Date	Description

CLIENT / OWNER



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

## PROJECT INFORMATION

Design Development  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22120

ISSUE DATE: 4/25/2025

DRAWN BY: CWE

SHEET TITLE:

LOWER LEVEL

SHEET NUMBER:

M-11



TEMPERATURE CONTROL WORK WILL INCLUDE ALL REQUIRED CONTROL WIRING AND POWER WIRING REQUIRED FOR CONTROL. PROVIDE WIRING IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS. PROVIDE ALL WIRING AND ACCESSORIES AS REQUIRED. WIRING SHALL BE CONCEALED OR IN CONDUIT.

SUBMIT INFORMATION INCLUDING DEVICES AND WIRING DIAGRAMS.

OCCUPIED - FAN TO RUN CONTINUOUSLY, OUTSIDE AIR DAMPER TO OPEN.  
UNOCCUPIED - FAN TO CYCLE WITH HEAT/COOL, OUTSIDE AIR DAMPER TO CLOSE.

HOT WATER HEAT CONTROL - THERMOSTAT TO OPEN VALVE ON CALL FOR HEAT. CONNECT VALVE  
END SWITCH TO THE EXISTING BOILER CONTROL. CONNECT TO EXISTING HOT WATER CONTROL  
POWER SUPPLY.  
ZONE VALVE WITH END SWITCH - 24V  
THERMOSTAT

AIR BALANCE:  
BALANCE SUPPLY AIR FLOW.  
BALANCE OUTSIDE AIR FLOW.

DIFFUSERS AND GRILLES

D-1 DIFFUSER - 24X24 LAY-IN ARCHITECTURAL, KRUEGER PLQ

D-2 DIFFUSER - SURFACE LOUVERED 2-WAY, KRUEGER SH 22 2S

D-3 DIFFUSER - ROUND ARCHITECTURAL, KRUEGER RM2PLQ

G-1 GRILLE - RETURN LOUVERED SURFACE, KRUEGER S80

G-2 GRILLE - SUPPLY LOUVERED, KRUEGER 80

G-2R GRILLE - SUPPLY LOUVERED, OPPOSED BLADE DAMPER, KRUEGER 80

G-3 GRILLE - RETURN EGGRATE, KRUEGER ECG5

EF-1 - CEILING EXHAUST FAN WITH GRILLE  
55 CFM @ .125"  
115V  
1 SONES  
GREENHECK SP-B50  
PROVIDE SPEED CONTROL.

EF-2 - CEILING EXHAUST FAN WITH GRILLE  
120 CFM @ .25"  
115V  
2 SONES  
GREENHECK SP-A90-13-VG

EF-3 - EXHAUST FAN - INLINE  
25 CFM @ .2"  
115V  
PROVIDE SPEED CONTROL (EC-10V), WALL VENT.  
FANTECH FG4

TF-1- INLINE FAN  
125 CFM @ .125"  
115V  
1.1 SONES  
GREENHECK CSP-A125

FT-1 - FINTUBE HEATER  
SLOPE TOP ENCLOSURE  
1810 BTUH/FT @ 170F  
3/4" COPPER, 2 ROW, ALUMINUM FINS  
24" ENCLOSURE  
VULCAN LVS


FT-2 - LIGHT COMMERCIAL FINTUBE HOT WATER HEATER  
SLOPE TOP ENCLOSURE  
715 BTUH/FT @ 170F  
3/4" COPPER, 1 ROW, ALUMINUM FINS  
10" ENCLOSURE  
VULCAN LC-210

FT-3 - LIGHT COMMERCIAL FINTUBE HOT WATER HEATER  
SLOPE TOP ENCLOSURE  
715 BTUH/FT @ 170F  
3/4" COPPER, 1 ROW, ALUMINUM FINS  
RETURN IN ENCLOSURE  
10" ENCLOSURE  
VULCAN LC-210

BB-1 - BASEBOARD FINTUBE HOT WATER HEATER  
710 BTUH/FT @ 170F, 1GPM  
3/4" COPPER, 1 ROW, ALUMINUM FINS  
VULCAN 800

CONVECTOR - HOT WATER FLOOR MOUNTED SLOPE TOP  
VULCAN SF-A  
DEPTH X LENGTH X HEIGHT, 170 AWT, 65 EAT  
CONVECTOR-1 8X64X18H, 12,985 BTUH  
CONVECTOR-2 8X64X18H, 12,985 BTUH



SHEET SCALE 1" 



STRUCTURAL ENGINEER:



1653 East Main Street  
Rochester, NY 14609

MEP/FP ENGINEER:



315 Rockingham Street  
Rochester, NY 14620

**WARNING:**

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT,

FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE VII, PART 69.5(B) OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THIS DRAWING. IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY:" AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.

WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND THAT THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUME NO RESPONSIBILITY THEREFORE. THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

REVISIONS:

#	Date	Description

CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

PROJECT INFORMATION:

Design Development  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER:	22120
-----------------	-------

ISSUE DATE: 4/25/2025

DRAWN BY: CWE

SHEET TITLE:

MAIN LEVEL


























SHEET NUMBER:

M-12

















REVISIONS:		
#	Date	Description

#### SYMBOLS – ELECTRICAL

	DUPLEX RECEPTACLE
	QUAD RECEPTACLE
	RECEPTACLE – COUNTER (GFI IF NEAR SINK)
	RECEPTACLE – TOILET ROOM (44", GFI)
	RECEPTACLE – TAMPER RESISTANT
	RECEPTACLE – SPECIAL
	TELEPHONE/DATA/CATV OUTLET
	HOME RUN CIRCUIT
	GFI
	DISCONNECT (SAFETY SWITCH)
	CONTROLLER
	SWITCH
	SWITCH – 3 WAY (4 WAY)
	OCCUPANCY SENSOR (WALL SWITCH)
	VACANCY SENSOR (WALL SWITCH)
	SWITCH – DIMMER
	OCCUPANCY SENSOR (CEILING)
	DAYLIGHT SENSOR (CEILING)
	OCCUPANCY SENSOR RELAY
	EXHAUST FAN
	NIGHT LIGHT
	EXIT SIGN
	EMERGENCY LIGHT
	PHOTOELECTRIC CONTROL
	EXISTING DEVICE

#### FIRE ALARM

	SMOKE DETECTOR
	HEAT DETECTOR
	FIRE ALARM PULL STATION
	FIRE ALARM AUDIO/VISUAL
	FIRE ALARM VISUAL (STROBE)
	FIRE ALARM CONTROL PANEL
	FIRE ALARM ANNUNCIATOR
	FIRE ALARM – SPRINKLER FLOW SWITCH
	FIRE ALARM – VALVE TAMPER SWITCH
	CARBON MONOXIDE ALARM/DETECTOR
	DUCT SMOKE DETECTOR
	DEVICE ABOVE CEILING
	EXISTING DEVICE
	CARBON MONOXIDE VISUAL (STROBE)

#### NOTES – ELECTRICAL

- CIRCUITS – UNLESS OTHERWISE NOTED, PROVIDE 2 #12 AWG WITH #12 GROUND TO A 20A, 1P (POLE) CIRCUIT BREAKER.
- PROVIDE COMPLETE CIRCUITS AS SHOWN OR AS NUMBERED.
- COORDINATE RECEPTACLE AND SWITCH INSTALLATION HEIGHTS WITH CABINETS AND EQUIPMENT.
- PROVIDE ELECTRIC DISCONNECTS AND SAFETY SWITCHES FOR EQUIPMENT (MECHANICAL, ETC.).
- INSTALL ALL CONDUIT CONCEALED (EXCEPTION – MECHANICAL ROOMS). INSTALL ALL CABLE CONCEALED.
- PROVIDE LISTED FIRE STOP SEALANT/SYSTEM AT CABLE AND CONDUIT PENETRATION OF RATED WALLS & PARTITIONS.
- DO NOT COMBINE NEUTRALS.
- MOUNT SWITCHES 44 INCHES ABOVE FLOOR, UNLESS OTHERWISE NOTED. MOUNT RECEPTACLES VERTICALLY AT 18 INCHES ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.
- DATA OUTLET – INSTALL OUTLET AT THE SAME HEIGHT AS ADJACENT RECEPTACLES. PROVIDE DEVICE WALL BOX WITH 1" CONDUIT TO ABOVE THE SUSPENDED CEILING (ABOVE OR BELOW). PROVIDE FISH WIRE AND BLANK WALL PLATE.
- COORDINATE TO CONCEAL WIRING. ANY EXPOSED WIRING SHALL BE INSTALLED NEATLY.
- PROVIDE CONDUIT SIZES PER THE NATIONAL ELECTRIC CODE.

#### ALTERNATES

- E1 006 & 012 – RENOVATION WORK:  
REPLACE LIGHT FIXTURES.  
REMOVE DEVICES IN WALLS. EXTEND BOXES FOR THE NEW WALL FINISH AND REPLACE THE DEVICE.  
REMOVE EXISTING LIGHT FIXTURES. PROVIDE NEW LIGHT FIXTURES IN THE NEW CEILING.  
DISCONNECT EXISTING TRANSFER FAN.  
PROVIDE CONNECTION TO THE NEW TRANSFER FAN SERVING 008.  
012 ONLY – REMOVE EXISTING RECEPTACLES ON THE BASE INCLUDING SURFACE RACEWAY AND WIRING. PROVIDE NEW RECEPTACLES IN THE NEW BASE. INSTALL WIRING CONCEALED. CONNECT TO THE EXISTING CIRCUITS.  
(NOTE THAT THE CONNECTIONS FOR THE FANS SERVING 010 IS IN THE BASE BID.)  
PROVIDE ABOVE CEILING SMOKE DETECTORS. RELOCATE DETECTORS TO THE NEW CEILING.
- E2 101 – ALTERNATE LIGHT FIXTURES (CLOUD CEILING)

COORDINATE WORK WITH OTHER TRADES.

FIELD MEASURE ALL WORK.

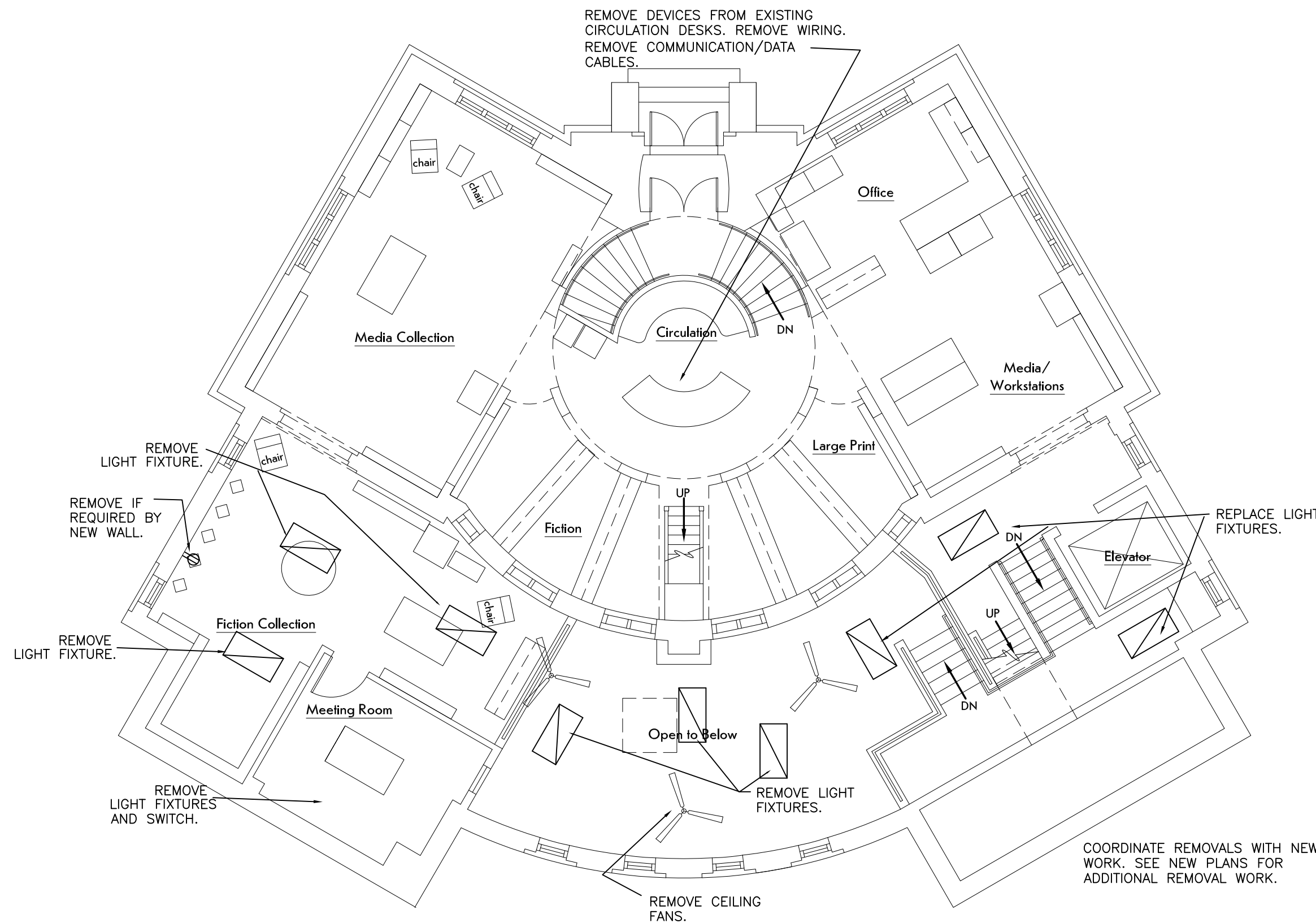
COMPLY WITH THE BUILD AMERICA BUY AMERICA ACT. REFER TO THE SPECIFICATIONS.

THE EXISTING CONDITIONS SHOWN ARE BASED ON ORIGINAL DRAWINGS AND FIELD OBSERVATIONS. ACTUAL CONDITIONS MAY VARY. ACCOUNT FOR POSSIBLE VARIATIONS. NOTE EXISTING CONDITIONS DURING REMOVALS AND INCLUDE THE CONDITIONS ON THE FIELD AS-BUILT DRAWINGS.

#### REMOVALS

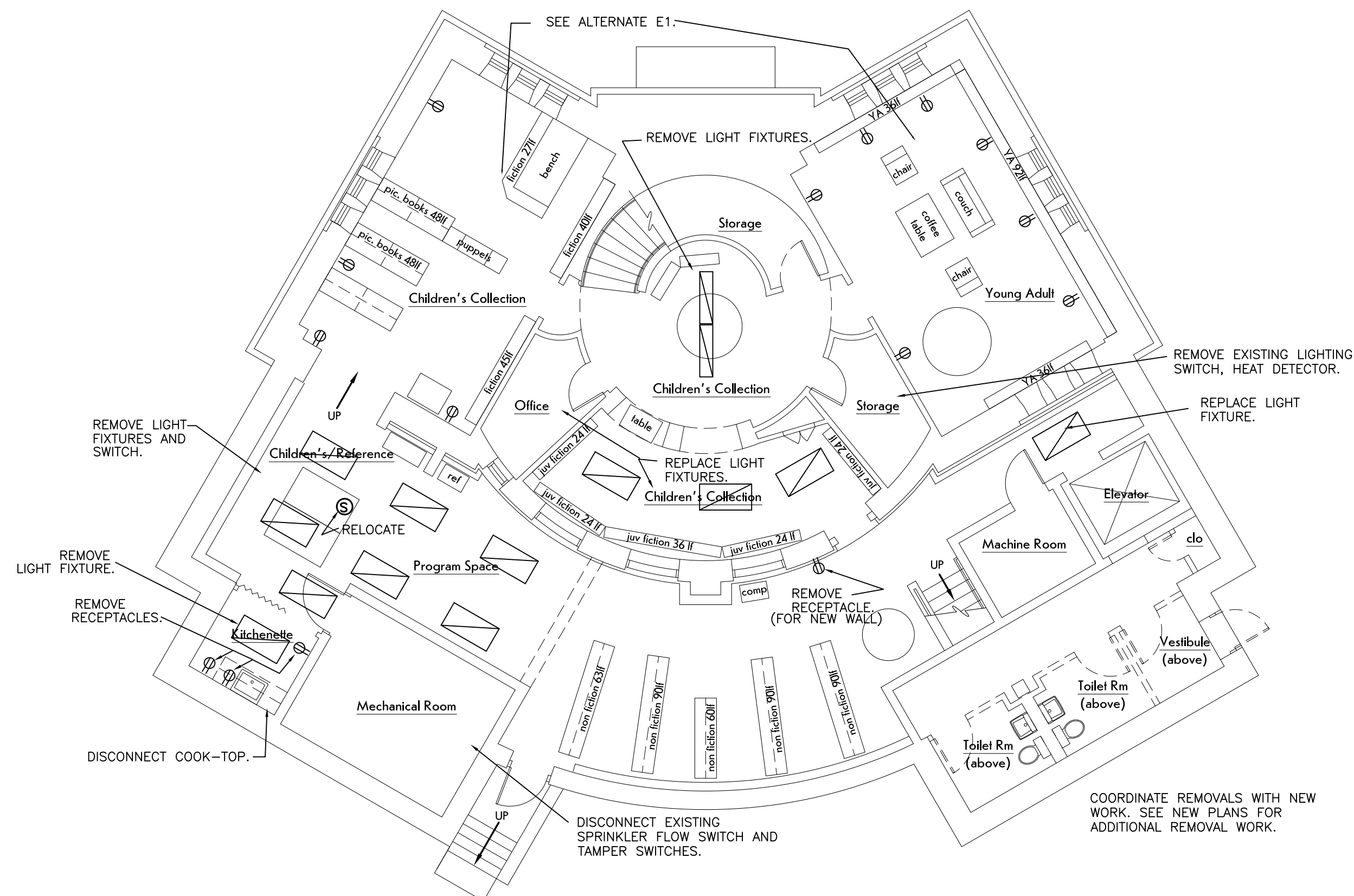
"REMOVE" TO INCLUDE DISCONNECT AND REMOVE THE DEVICE AND EXISTING CIRCUIT.  
"DISCONNECT" TO INCLUDE DISCONNECT AND REMOVE EXISTING CIRCUIT.  
"CIRCUIT" INCLUDES BUT NOT LIMITED TO WIRE AND CONDUIT.  
"WIRING" INCLUDES BUT NOT LIMITED TO WIRE, CONDUIT, DEVICES, ACCESSORIES.  
"RELOCATE" TO INCLUDE EXTEND EXISTING CIRCUIT TO THE NEW LOCATION.

- WALL REMOVAL – REMOVE WIRING IN AND ON EXISTING WALLS WHICH WILL BE DEMOLISHED. RELOCATE AND EXTEND ANY EXISTING CIRCUITS TO REMAIN.
- AT REMOVALS, ON SURFACES TO REMAIN, REPAIR SURFACES TO MATCH THE ADJACENT SURFACE.



#### MAIN LEVEL FLOOR PLAN

1/8" = 1'-0"



#### LOWER LEVEL FLOOR PLAN

1/8" = 1'-0"



PANELBOARD SCHEDULE											
#	VOLTAGE PHASE	FRAME AMPS	MCB AMPS	UL SCCR	SPACES	MOUNT.	FEEDER				CB/FUSE
							CONDUCT. AWG	GROUND AWG	SOURCE		
PP-3	208/3/4W	125	MLO	22KA	20	RECESSED	4	10	PP-1		60A-3P

PROVIDE REQUIRED BRANCH CIRCUIT BREAKERS.  
CONDUCTOR SIZES ARE FOR COPPER.  
PP-3: LOAD CENTER

PP-1 — REMOVE COOKTOP CIRCUIT BREAKER.  
RELOCATE/EXTEND AN ADJACENT CIRCUIT TO PP-3 (PROVIDE  
CIRCUIT BREAKER). PROVIDE FEEDER CIRCUIT BREAKER IN PP-1.

#### FIRE ALARM SYSTEM

COORDINATE WITH EXISTING FIRE ALARM SYSTEM.  
CONTRACTOR TO DETERMINE IF THE EXISTING FIRE ALARM PANEL CAN BE EXPANDED. IF NOT,  
REPLACE THE PANEL.  
EXISTING PANEL — SIMPLEX 4007

PROVIDE DEVICES AS SHOWN. CONNECT TO THE BUILDING FIRE ALARM SYSTEM. PROVIDE WIRING AND  
ACCESSORIES REQUIRED.

REPLACE EXISTING ALARMS (AUDIBLE/VISUAL, VISUAL, AUDIBLE).

PROVIDE NAC EXTENDER POWER SUPPLY IF REQUIRED.

PROVIDE TESTING AND CERTIFICATION AS REQUIRED.

PROVIDE SHOP DRAWINGS THAT INCLUDE WIRING DIAGRAMS, MANUFACTURER'S MODEL NUMBERS AND  
LISTING INFORMATION, BATTERY CALCULATIONS, VOLTAGE DROP CALCULATIONS, AND CONDUCTOR TYPES  
AND SIZES.

CONTRACTOR SHALL PROVIDE COMPLETE SYSTEM DOCUMENTATION AS REQUIRED BY THE AHJ.  
CERTIFICATION OF THE SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR

INSTALL DEVICES IN ACCORDANCE WITH ADA AND STATE ACCESSIBILITY CODES.

#### SPRINKLER ALARM

SPRINKLER ALARM — IN ADDITION TO THE FIRE ALARM SYSTEM PROVIDE A INDEPENDENT CIRCUIT FOR  
THE SPRINKLER FLOW ALARM. PROVIDE WIRING TO EACH FLOW SWITCH (INDEPENDENT OF THE FIRE  
ALARM MONITORING) AND TO THE EXTERIOR WALL MOUNTED AUDIO/VISUAL ALARM. AUDIO/VISUAL  
ALARM TO ACTIVE WHEN ANY BUILDING FLOW ALARM IS ACTIVATED.  
COORDINATE WITH THE SPRINKLER SYSTEM.

#### CARBON MONOXIDE DETECTION

PROVIDE CARBON MONOXIDE DETECTION AND NOTIFICATION IN ACCORDANCE WITH THE NY  
STATE FIRE CODE.

PROVIDE COMPLETE WORKING SYSTEM.

- A. PROVIDE CONTROL PANEL WITH SILENCE FEATURE.  
B. PROVIDE ALL POWER CONNECTIONS AND BATTERY BACK-UP.  
C. CO DETECTORS — UL 2075 WITH AUDIBLE NOTIFICATION.  
D. PROVIDE VISUAL ALARM WITH AMBER LENS. MOUNT AT 84" AFF.

CONTRACTOR SHALL PROVIDE COMPLETE SYSTEM DOCUMENTATION AS REQUIRED BY THE  
TOWN. CERTIFICATION OF THE SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE  
CONTRACTOR

PROVIDE TESTING AND CERTIFICATION AS REQUIRED.

DEVICES MAY BE CONNECTED TO THE FIRE ALARM SYSTEM INSTEAD.

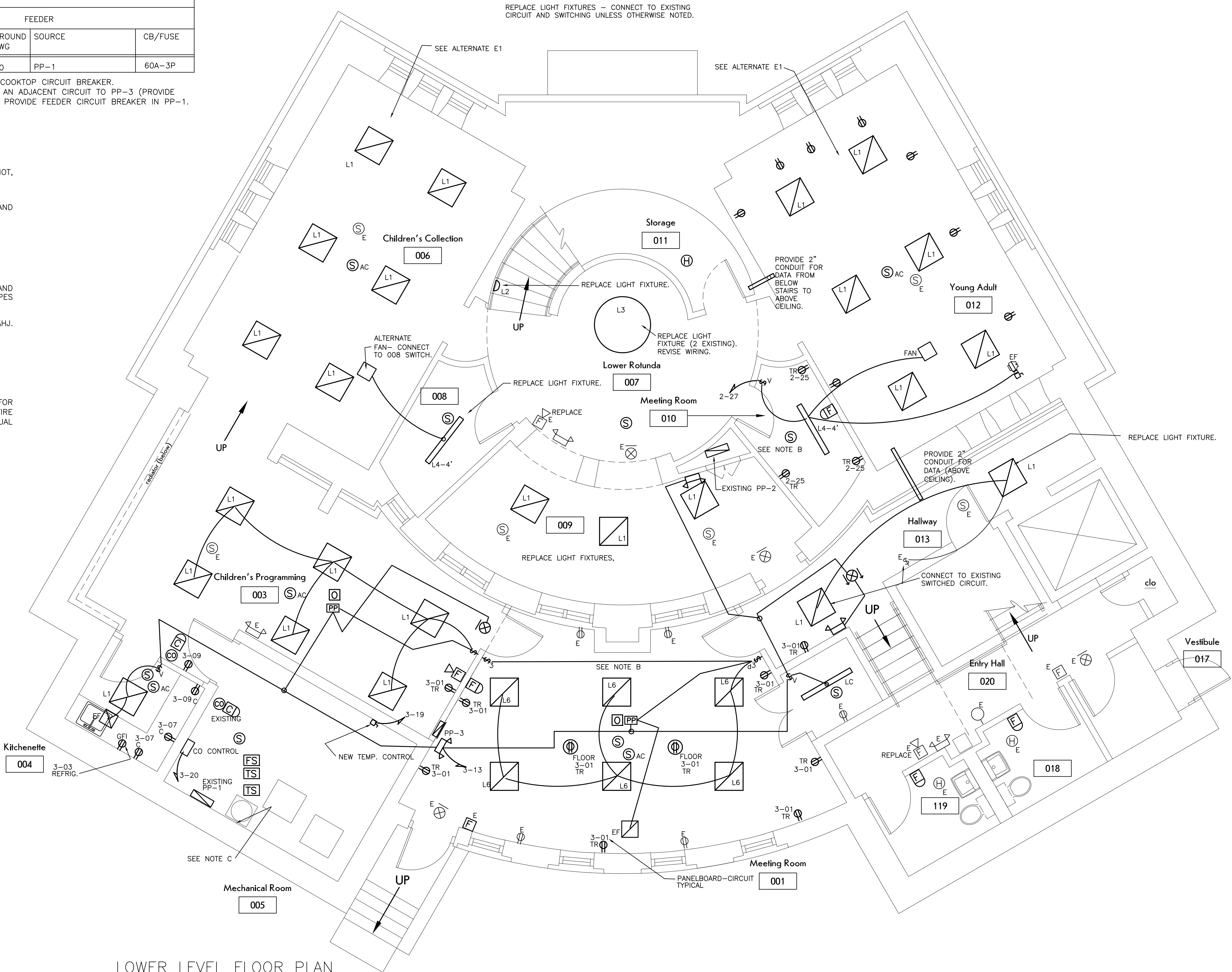
#### PROJECT NOTES

- A. PROVIDE RECEPTACLES IN CIRCULATION DESK. COORDINATE WITH THE DESK CONSTRUCTION.  
PROVIDE CONNECTION TO JUNCTION BOX BELOW FLOOR. PROVIDE DATA PATHWAY TO BELOW  
THE FLOOR.
- B. MEETING ROOMS — PROVIDE RECEPTACLES IN ACCORDANCE WITH NFPA 70 210.71.
- C. RELOCATED AND EXTEND EXISTING CONDUIT AND WIRING NEAR FLOOR (DUE TO NEW WATER  
SERVICE).
- D. FOR CONNECTIONS TO EXISTING PANELBOARDS — PROVIDE BRANCH CIRCUIT BREAKER.  
MATCH THE SCCR OF THE PANELBOARD.
- E. ALL WIRING UNDERGROUND TO BE IN CONDUIT. UNDERGROUND CONDUIT TO BE  
NON-METALLIC.
- F. COORDINATE FLOOR CUTS FOR UNDERGROUND ELECTRIC.
- G. FLOOR OUTLET — PROVIDE CIRCUIT WIRING IN CONDUIT UNDER SLAB TO WALL AND UP TO  
THE CEILING SPACE.
- H. ALL NEW RECEPTACLES SHALL BE TAMPER RESISTANT. EXCEPTION — OFFICE & IN THE  
CIRCULATION DESK.

#### EQUIPMENT

FLOOR RECEPTACLE — RECESSED FLOOR OUTLET BOX  
FLUSH FLOOR WITH FLAP COVER  
BOX — INFLOOR NON-METALLIC  
PROVIDE DEPTH AS REQUIRED.  
COORDINATE WITH FLOOR FINISH.  
PROVIDE ACCESSORIES AND FLOOR TRIM.  
COVER AND TRIM MATERIAL — ALUMINUM  
STYLE LINE DECORATOR OPENING  
HUBBELL

TABLE TOP RECEPTACLES — HUBBELL 525 SERIES



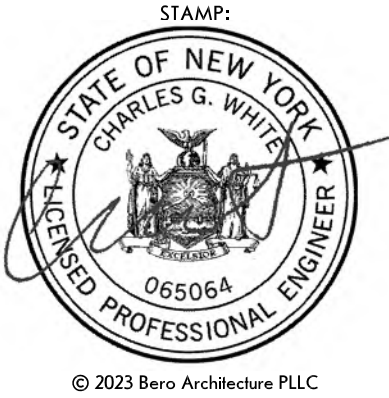
LOWER LEVEL FLOOR PLAN  
1/4" = 1'-0"

SHEET SCALE 1"



**bero**  
ARCHITECTURE

32 Winthrop Street, Rochester, NY 14607  
(585) 262-2035 | www.beroarchitecture.com



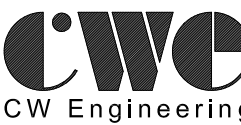
© 2023 Bero Architecture PLLC

STRUCTURAL ENGINEER:



1653 East Main Street  
Rochester, NY 14609

MEP/FP ENGINEER:



315 Rockingham Street  
Rochester, NY 14620

**WARNINGS:**  
DRAWINGS, SPECIFICATIONS AND OTHER  
DOCUMENTS, INCLUDING THOSE IN ELECTRONIC  
FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE  
INSTRUMENTS OF SERVICE FOR USE SOLELY WITH  
RESPECT TO THE PROJECT FOR WHICH THEY WERE  
CREATED. THE ARCHITECT RETAINS ALL COMMON LAW,  
STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING  
COPYRIGHT.

FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC  
MEDIA, IT IS A VIOLATION OF TITLE 16, PART 60-500 OF  
THE NEW YORK STATE EDUCATION LAW FOR ANY  
PERSON, UNLESS ACTING UNDER THE DIRECTION OF A  
LICENSED ARCHITECT TO ALTER THE DRAWING, IF  
ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL,  
SIGNATURE, THE DATE, THE NOTATION "ALTERED BY",  
AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.

WHERE DRAWINGS, ON PAPER OR ELECTRONIC  
MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED  
WORK, AND CONNOTIONS, IT IS UNDERSTOOD THAT IT IS  
SO SHOWN AS A MATTER OF INFORMATION AND THAT  
THE OWNER AND ARCHITECT, WHILE BELIEVING SUCH  
INFORMATION TO BE SUBSTANTIALLY CORRECT,  
ASSUME NO RESPONSIBILITY THEREFOR. THE USER  
SHALL MAKE THEMSELVES FAMILIAR WITH ALL  
CONNOTIONS AFFECTING THE NATURE AND MANNER  
OF THEIR WORK INCLUDING VERIFICATION OF ALL  
DIMENSIONS LOCATING EXISTING, PROPOSED,  
AND/OR NEW WORK AND CONNOTIONS.

#### REVISIONS:

#	Date	Description

#### CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14569

#### PROJECT INFORMATION:

Design Development  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 22120

ISSUE DATE: 4/25/2025

DRAWN BY: CWE

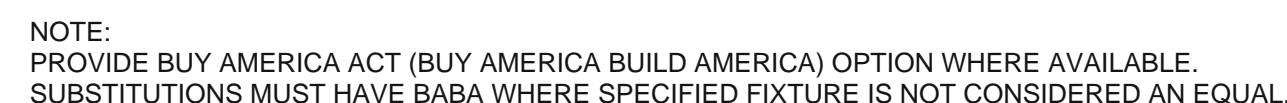
SHEET TITLE:

LOWER LEVEL

SHEET NUMBER:

E-11





COORDINATE WITH CEILING TYPE (LAY-IN CEILINGS, DRYWALL CEILINGS).

MAIN LEVEL FLOOR PLAN  
1/4" = 1'-0"



STRUCTURAL ENGINEER:



1653 East Main Street  
Rochester, NY 14609

MEP/FP ENGINEER:



315 Rockingham Street  
Rochester, NY 14620

**WARNING:**

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BERO ARCHITECTURE PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT FOR WHICH THEY WERE CREATED. THE ARCHITECT RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT.

FOR ARCHITECTURAL DRAWINGS AND ELECTRONIC MEDIA, IT IS A VIOLATION OF TITLE VI, PART 69.5(B) OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THIS DRAWING, IF ALTERED, SUCH ARCHITECT SHALL AFFIX THEIR SEAL, SIGNATURE, THE DATE, THE NOTATION "ALTERED BY" AND THE SPECIFIC DESCRIPTION OF THE ALTERATION.

WHERE DRAWINGS, ON PAPER OR ELECTRONIC MEDIA, SHOW EXISTING, NEW, AND/OR PROPOSED WORK AND CONDITIONS, IT IS UNDERSTOOD THAT IT IS SO SHOWN AS A MATTER OF INFORMATION AND NOT AS A GUARANTEE OF ACCURACY. THE USER, OWNER, ARCHITECT, WHILE BELIEVING SUCH INFORMATION TO BE SUBSTANTIALLY CORRECT, ASSUMES NO RESPONSIBILITY THEREFORE, THE USER SHALL MAKE THEMSELVES FAMILIAR WITH ALL CONDITIONS AFFECTING THE NATURE AND MANNER OF THEIR WORK INCLUDING VERIFICATION OF ALL DIMENSIONS LOCATING EXISTING, PROPOSED, AND/OR NEW WORK AND CONDITIONS.

REVISIONS:

#	Date	Description

CLIENT / OWNER:



Town of Warsaw  
83 Center Street  
Warsaw, NY 14568

PROJECT INFORMATION:

Design Development  
Warsaw Public Library  
130 North Main Street, Warsaw, New York

PROJECT NUMBER: 2212

ISSUE DATE: 4/25/2021

DRAWN BY: CW

**SHEET TITLE:**

MAIN LEVEL

SHEET NUMBER:

E-12